

BUILDING ALTERATION - 836 RIVER STREET



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- SCOPE OF WORK:**
1. RENOVATION TO EXISTING 3 FAMILY BUILDING.
 2. NEW INTERIOR LAYOUT PER PLANS FOR 2 FAMILY RESIDENTIAL.
 3. NO EXTERIOR WORK TO FRONT FACADE, REPAIRS ONLY.
 4. MECHANICAL WORK ON SEPARATE PERMIT.

LOCATION	
LOCATION:	834 RIVER STREET TROY, NY 12180
ZONING DISTRICT:	R4
TAX MAP:	90.62-3-49

REFERENCED CODES:
2020 RESIDENTIAL BUILDING CODES AS ADOPTED BY NEW YORK STATE, INCLUDING EXISTING BUILDING CODE (EBC), BUILDING CODE (IBC), FIRE CODE (IFC), ENERGY CONSERVATION CODE (IECC), NEW YORK STATE (NYS) 2020, 2016 & 2017 UNIFORM CODE SUPPLEMENTS, AND NYS 2016 ENERGY CODE SUPPLEMENT.

CLASSIFICATION & USE
R-3 : TWO FAMILY RESIDENTIAL

TYPE OF CONSTRUCTION: TYPE III-A, NOT SPRINKLERED

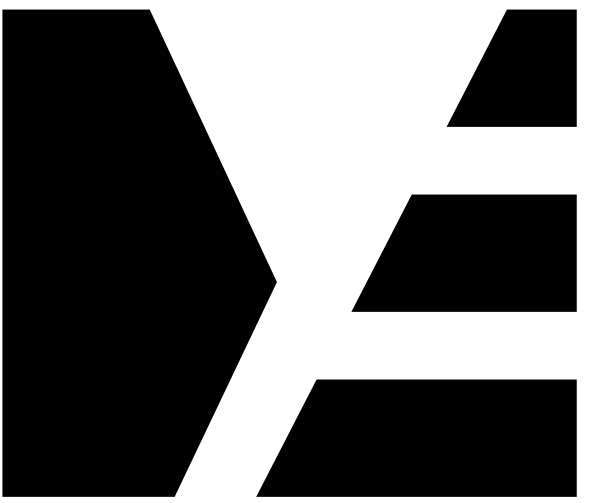
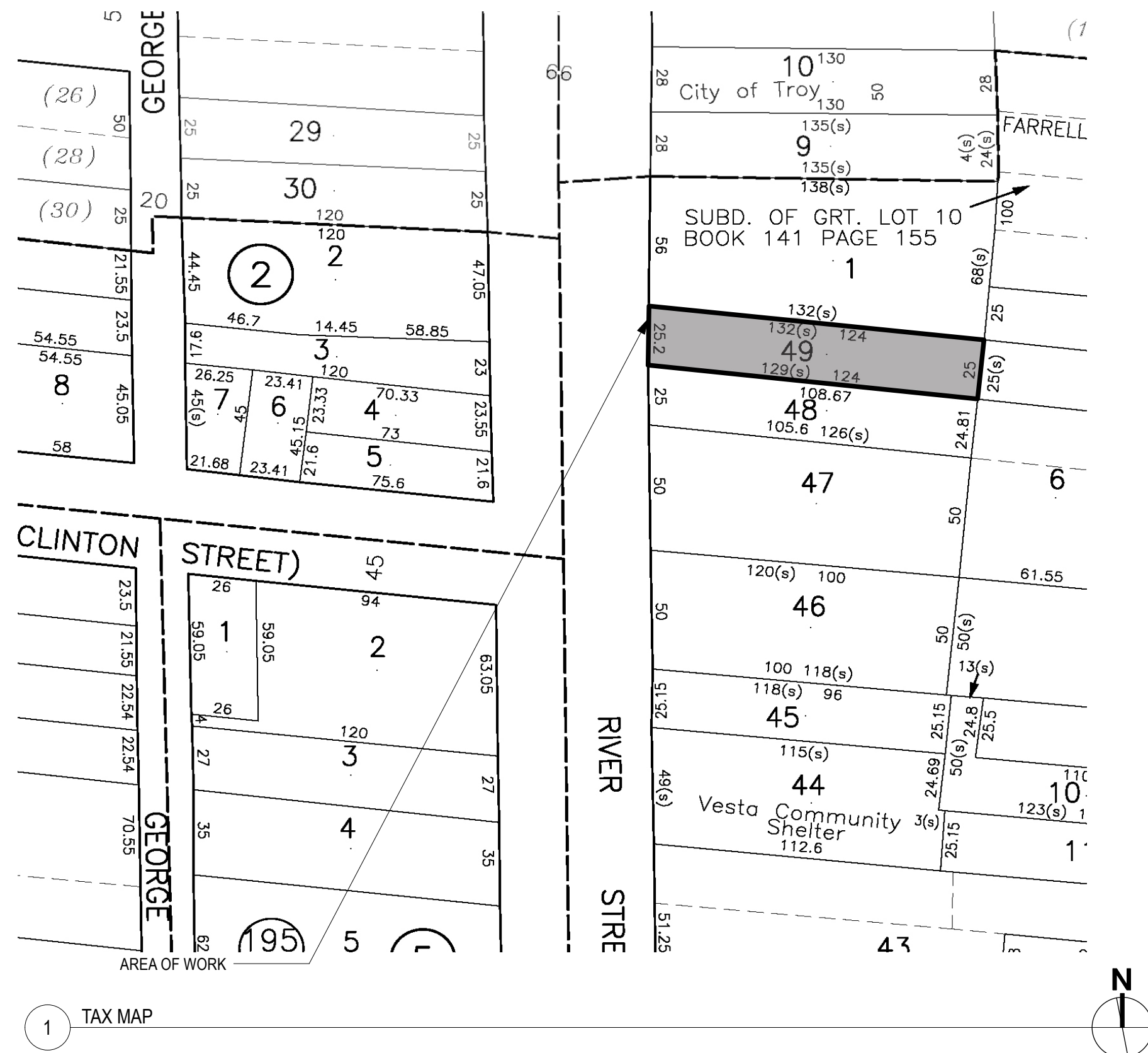
- BUILDING DETAILS:**
- OCCUPANCY: SINGLE-OCCUPANCY, GROUP R-3 (TWO-FAMILY RESIDENTIAL)
 - CONSTRUCTION TYPE: TYPE III-A
 - SPRINKLER SYSTEM: NON-SPRINKLERED
 - FRONTAGE INCREASE: 0%
 - NUMBER OF STORIES: 3 STORIES ABOVE GRADE, PLUS BASEMENT
 - ALTERATION LEVEL: LEVEL 2 + CHANGE OF OCCUPANCY

ABBREVIATIONS

ABV	ABOVE	HDWR	HARDWARE
AC	AIR CONDITIONING	HDR	HEADER
ACT	ACTUAL	HW	HOT WATER
ADN	ADDITION	ID	INTERIOR DIAMETER
ADJ	ADJUSTIBLE	INSUL	INSULATION
AFF	ABOVE FINISHED FLOOR	INT	INTERIOR
ALT	ALTERNATE	JT	JOINT
ALUM	ALUMINUM	KO	KNOCK OUT
APA	AMERICAN PLYWOOD ASSOCIATION	LAM	LAMINATE
ASF	ABOVE SUB-FLOOR	LAV	LAVATORY
AT	ACOUSTIC TILE	LH	LEFT HAND
AVG	AVERAGE	LIF	LOCATE IN FIELD
AWN	AWNING	LOC	LIMIT OF CONTRACT
BD	BOARD	LT	LIGHT
BDRM	BEDROOM	LTG	LIGHTING
BFE	BOTTOM OF FOOTING ELEVATION	LVL	LAMINATED VENEER LUMBER
BLD'G	BUILDING	LIN	LINEN
BLK	BLOCK	MATL	MATERIAL
BLK'G	BLOCKING	MAX	MAXIMUM
BM	BEAM	MC	MEDICINE CABINET
B.M.	BENCHMARK	MDO	MEDIUM DENSITY OVERLAY PLYWOOD
BO	BOTTOM OF	MFG	MANUFACTURER
B/S	BOTH SIDES	MIN	MINIMUM
BTWN	BETWEEN	MO	MASONRY OPENING
BTU	BRITISH THERMAL UNITS PER HOUR	MTD	MOUNTED
CAB	CABINET	MTL	METAL
CDX	CD PLYWOOD, EXT GLUE	NIC	NOT IN CONTRACT
CHIM	CHIMNEY	NO	NUMBER
CL	CLOSET	NTS	NOT TO SCALE
CLG	CEILING	OC	ON CENTER
CMU	CONCRETE MASONRY UNIT	OPG	OPENING
COL	COLUMN	PL	PLATE
CONC	CONCRETE	PLAS	PLASTIC
CONST	CONSTRUCTION	PLWD	PLYWOOD
CONT	CONTINUOUS	PT	PRESSURE TREATED
CSMT	CASEMENT	PTD	PAINTED
CT	CERAMIC TILE	PTS	PLUGGED/TOUCH-SANDED PLYWOOD
D	CLOTHES DRYER	QTY	QUANTITY
DIA	DIAMETER	R	RISER
DBL	DOUBLE	RD	ROUND
DH	DOUBLE HUNG	REF	REFRIGERATOR
DIM	DIMENSION	REQ'D	REQUIRED
DN	DOWN	RT	RIGHT HAND
DR	DOOR	RO	ROUGH OPENING
DW	DISHWASHER	RT	RAFTER
DWG	DRAWING	SDL	SIMULATED DIVIDED LIGHT
E	EAST	SHWR	SHOWER
EL	ELEVATION	SHT	SHEET
ELEC	ELECTRIC	SIM	SIMILAR
ENCL	ENCLOSURE	STD	STANDARD
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	STL	STEEL
EXT	EXTERIOR	SUBFL	SUBFLOOR
EXTG	EXISTING	SYM	SYMBOL
FD	FLOOR DRAIN	T	TREAD
FF	FINISH FLOOR	TEL	TELEPHONE
FO	FACE OF	TBA	TO BE ANNOUNCED
FDN	FOUNDATION	TBD	TO BE DETERMINED
FIN	FINISH (ED)	TO	TOP OF
FL	FLOOR (ING)	T.O.FINFL	TOP OF FINISH FLOOR
FT	FOOT/FEET	TOL	TOP OF LEDGE
FTG	FOOTING	TOS	TOP OF SLAB
FOF	FACE OF FRAMING	T.O.SUBFL	TOP OF SUBFLOOR
F.O.FIN	FACE OF FINISH	TOW	TOP OF WALL
FP	FIREPLACE	TYP	TYPICAL
FRMGX	FRAMING	TV	TELEVISION
GC	GENERAL CONTRACTOR	UNO	UNLESS NOTED OTHERWISE
GL	GLASS	VB	VAPOR BARRIER
GWB	GYPSON WALLBOARD	VIF	VERIFY IN FIELD
		W.	WITH

GENERAL NOTES

1. Before commencing all work, the contractor shall file all required insurance certificates, obtain all required permits, and pay all fees required by the governing agencies.
2. All work shall conform to the requirements of the Building Code, Fire Department Rules and Regulations, utility company requirements, and the best trade practices. All wood to be used shall be fire-rated.
3. Minor details not usually shown or specified, but required for proper construction of any part of the work shall be included as if they were indicated in the drawings.
4. The contractor shall coordinate all work procedures with the stipulation of the local authorities.
5. The contractor shall be responsible for the protection of all conditions and materials within the proposed construction area. The contractor shall design and install adequate shoring and bracing for all structural and removing tasks. The contractor shall have sole responsibility for any damage or injuries caused by or during the execution of work.
6. The contractor shall lay out his own work, and shall provide all dimensions required for the other trades: plumbing, electrical, etc.
7. Plumbing work shall be performed by the persons licensed in their trades, who shall arrange for and obtain all required permits, inspections, and required sign offs.
8. All new Electrical work, modifications, repairs, etc. shall be performed by persons licensed in their trades, who shall arrange for and obtain all required permits, inspections and required sign offs.
9. The contractor shall do all cutting, patching, repairing as required to perform all the work indicated on the drawings, and all other work that may be required to complete the job.
10. The contractor is to post all required permits on site prior to any work performed.
11. The contractor shall have all materials proposed for demolition to be tested for possible asbestos and/or lead content before they are disturbed. Asbestos and lead containing materials can only be disturbed, removed or abated by properly trained and certified personnel as per applicable codes, rules and regulations.



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PROJECT

BUILDING ALTERATION
836 RIVER STREET
TROY, NY 12180

ISSUED FOR

PERMIT

DATE: 04/30/25

REVISION:

DRAWING TITLE

COVER

DRAWING NUMBER

G-01

CODE NOTES

NEW YORK STATE RESIDENTIAL CODE 2020
APPENDIX J FOR EXISTING BUILDINGS

NEW YORK SECTION AJ601 ALTERATIONS - LEVEL 2

AJ601.6.1 Separation Required

Where the work area is in a two-family dwelling or multiple single-family dwelling (townhouse) and exceeds 50 percent of the aggregate area of the dwelling unit, all walls separating dwelling units that are not continuous from the foundation to the underside of the roof sheathing shall be constructed to provide a continuous fire separation using construction materials consistent with the existing wall or complying with the requirements for new structures. Work shall only be required to be performed on the side of the wall of the dwelling unit that is part of the work area.

ONE HOUR CONTINUOUS FIRE SEPARATION BETWEEN THE TWO UNITS IS REQUIRED AND PROPOSED.

AJ601.6.2 Wall and Ceiling Finish

Where the work area exceeds 50 percent of the aggregate area of the dwelling, the interior finish of walls and ceilings in any work area shall comply with the requirements of Section R302.9. All existing interior finish materials that do not comply with those requirements shall be removed or shall be treated with an approved fire retardant coating in accordance with the manufacturer's instructions to secure compliance with the requirements of this section.

INTERIOR FINISH OF WALLS AND CEILINGS TO COMPLY WITH SECTION R302.9 AS REQUIRED.

AJ601.6.3 Guards

In work areas, guards designed and installed in accordance with Section R312 shall be provided on every open portion of a floor, stair, landing, porch, deck, porch or deck enclosed with insect screening, or balcony that is more than 30 inches (762 mm) above the floor or grade below, or where the existing guards are judged to be in danger of collapsing.

GUARDS TO BE INSTALLED WHERE NECESSARY TO COMPLY WITH SECTION R312.

AJ601.7 Means of Egress

The means of egress in work areas where alterations are being performed shall comply with the requirements of this section.

AJ601.7.1 Exit Doors

Exit doors in any work area shall comply with Section R311.1 and R311.2.

AJ601.7.2 Handrails

Every stairway having four or more risers from a work area floor shall be provided with handrails designed and installed in accordance with section R311.7.8.

ALL EXIST DOORS TO COMPLY WITH SECTIONS R311.1 AND R311.2. GUARDS TO BE INSTALLED WHERE NECESSARY TO COMPLY WITH SECTION R312.

AJ601.8 Fire and Life Safety Protection

Refer to AJ701.3 for Change of Use requirements

AJ601.9 Structural

The minimum design criteria for existing portions of the structure shall be the loads applicable at the time the building was constructed, provided that no dangerous condition is created. Structural elements which are uncovered during the course of the alteration and which are found to be unsound or dangerous shall be made to comply with the applicable requirements of this code.

AJ601.9.1 Increased Loads

Where alteration work includes installation of additional equipment that is structurally supported by the building or reconfiguration of space such that portions of the building become subjected to higher dead or live loads, all structural members affected by such increase shall meet the load requirements of this code.

Exception: Structural elements whose stress is not increased by more than 5 percent.

AJ601.9.2 Reduction of Strength

Alterations shall not reduce the structural strength or stability of the building, structure or any individual member thereof.

Exception: Such reduction shall be allowed as long as the strength and the stability of the building are not reduced to below the levels required by this code.

AJ601.9.3 New Structural Members

New structural members in alterations, including connections and anchorage, shall comply with this code.

NO INCREASED LOADS PROPOSED. GC TO INSPECT EXISTING STRUCTURE CAREFULLY AND ENGAGE STRUCTURAL ENGINEER FOR ANY REPAIRS OR ALTERATION.

AJ601.10 Mechanical

Alterations to any mechanical system shall conform to the requirements of Chapter 12 for a new mechanical system without requiring the existing mechanical system to comply with all the requirements of this code. Alterations shall not cause an existing mechanical system to become unsafe, hazardous or overloaded.

AJ601.10.1 Reconfigured Spaces

Mechanically ventilated reconfigured spaces shall comply with Section M1505 as applicable

ALL NEW MECHANICAL WORK TO COMPLY WITH REQUIREMENTS OF CHAPTER 12. ALL WORK UNDER SEPARATE PERMIT.

AJ601.11 Plumbing

Alterations to any plumbing system shall conform to the requirements for a new plumbing system without requiring the existing plumbing system to comply with all the requirements of this code. Alterations shall not cause an existing system to become unsafe, unsanitary or overloaded.

AJ601.11.1 Increased Demand

Where any alteration subjects any portion of an existing plumbing system to increased loads, such portion shall be made to comply with Chapters 25 through 33.

ALL NEW PLUMBING WORK TO BE PERFORMED BY A LICENSED PLUMBER PER DRAWINGS AND TO COMPLY WITH CURRENT PLUMBING AND BUILDING CODES AND REQUIREMENTS.

AJ601.12 Electrical

Any alteration to an existing electrical system relating to work done in any work area shall be made in conformity with the provisions of Chapters 34 through 43.

AJ601.12.1 Increased Loads

Where alterations subject portions of existing electrical systems to increased loads, such portions shall be made to comply with Chapter 34 through Chapter 43.

AJ601.12.2 Electrical Service

Service to dwelling units shall be a minimum of 100 ampere, three-wire capacity, and service equipment shall be dead front having no live parts exposed whereby accidental contact could be made. Type "S" fuses shall be installed when fused equipment is used.

Exception: Existing service of 60 ampere, three-wire capacity, and feeders of 30 ampere or larger two-or three-wire capacity shall be accepted if adequate for the electrical load being served.

AJ601.12.2.1 Clearance

Clearance for electrical service equipment shall be provided in accordance with Section E3405.

AJ601.12.3 Ground-Fault and Arc-Fault Circuit Interrupter Protection

Ground-fault and arc-fault circuit-interrupter protection shall be provided on newly installed receptacle outlets as required by Section E3902.

AJ601.12.4 Additional Electrical Requirements

When the work area includes any of the following areas within a dwelling unit, the requirements of Sections AJ608.5.1 through AJ608.5.3 shall apply.

AJ601.12.4.1 Enclosed Areas

All enclosed areas other than closets, kitchens, basements, garages, hallways, laundry areas and bathrooms shall have a minimum of two duplex receptacle outlets, or one duplex receptacle outlet and one ceiling or wall type lighting outlet.

AJ601.12.4.2 Kitchen and Laundry Areas

Kitchen areas shall have a minimum of two duplex receptacle outlets. Laundry areas shall have a minimum of one duplex receptacle outlet located near the laundry equipment and installed on an independent circuit.

AJ601.12.4.3 Bathrooms, Hallways, Stairways, Attached and Detached Garages

At least one lighting outlet shall be provided in every bathroom, hallway, stairway, attached garage and detached garage with electric power to illuminate outdoor entrances and exits, and in utility rooms and basements where these spaces are used for storage or contain equipment requiring service.

ALL NEW ELECTRICAL WORK TO BE PERFORMED BY LICENSED ELECTRICIAN AND TO COMPLY WITH CURRENT ELECTRICAL AND BUILDING CODES AND REQUIREMENTS PER DRAWINGS AND SPECIFICATIONS.

NEW YORK SECTION AJ701 CHANGE OF OCCUPANCY

AJ701.2.1 Existing Emergency Escape and Rescue Openings

Emergency escape and rescue openings need not meet the requirements of this code where such openings were lawfully in existence at the time of the adoption of this code.

ALL EXISTING WINDOW OPENINGS TO REMAIN NEED NOT MEET EMERGENCY RESCUE REQUIREMENTS.

AJ701.2.2 Existing Stairs

Existing stairs are permitted to remain, provided all of the following conditions are met:

1. The product obtained by multiplying the height of the riser by the depth of the tread shall be not less than 70 inches (1778 mm) nor more than 80 inches (2032 mm). Riser height shall not exceed 9 inches (229 mm).
2. Stairs shall have minimum headroom of 6 feet 6 inches (1981 mm), except that stairs for occasional use to basements and attics are permitted to have minimum headroom of 6 feet 4 inches (1930 mm).
3. Variations in riser height in a run of stairs shall not exceed 3/8 inch (9.5 mm).
4. Width shall be not less than 30 inches (762 mm).

GC TO VERIFY EXISTING STAIRS MEETS ALL REQUIREMENTS ABOVE OR MODIFY ACCORDINGLY.

AJ701.2.3 Existing Ceiling Heights

Existing ceiling heights shall be permitted to remain if they equal or exceed the following:

- 1 Habitable space shall have a ceiling height of not less than 6 feet 8 inches (2032 mm), measured from the finished floor to the lowest projection from the ceiling.
- 2 Space, other than habitable, shall have a ceiling height of not less than 6 feet 6 inches (1981 mm), measured from the finished floor to the lowest projection from the ceiling.

ALL EXISTING AND PROPOSED CEILING HEIGHTS ABOVE REQUIRED 6'-8".

AJ701.2.4 Existing Foundations

Existing foundations are permitted to remain where the change in use will increase the soil bearing pressure by no more than 5 percent.

NO FOUNDATION WORK REQUIRED NOR PROPOSED.

AJ701.2.5 Seismic Load Provisions

Specific seismic load detailing provisions required for new structures are not required to be met where it can be shown that an acceptable level of performance and seismic safety is obtained for the applicable seismic design category.

SEISMIC LOAD NOT REQUIRED.

AJ701.3 Fire and Life Safety Protection

AJ701.3.1 Smoke Alarms

Smoke alarms, located as required for new dwellings, shall be provided; the smoke alarms shall be interconnected in accordance with Section R314.4.

HARDWIRED AND INTERCONNECTED SMOKE ALARMS PER SECTION R314.4 REQUIRED AND PROPOSED.

AJ701.3.2 Carbon Monoxide Alarms

Where a building undergoes a change of occupancy to a dwelling unit, carbon monoxide alarms shall be provided throughout the dwelling unit. The selection, design, and location of carbon monoxide alarms shall comply with the requirements for new construction.

AJ701.3.2.1 Power Supply and Interconnection

Carbon monoxide alarms powered by a 10-year battery shall be allowed and interconnection of alarms shall not be required in:

- 1 Buildings that undergo a change of occupancy unless otherwise required by other applicable provisions of the Uniform Code.
- 2 Dwelling units without commercial power.

HARDWIRED AND INTERCONNECTED CARBON MONOXIDE ALARMS PROPOSED.

AJ701.3.3 Automatic Fire Sprinkler System

An automatic sprinkler system as required for new dwellings shall be provided.

AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED AS NO NEW DWELLINGS ARE PROPOSED.



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PROJECT

BUILDING ALTERATION

836 RIVER STREET
TROY, NY 12180

ISSUED FOR

PERMIT

DATE: 04/30/25

REVISION:

DRAWING TITLE

CODE NOTES

DRAWING NUMBER

G-02



1 FRONT ELEVATION - EXISTING PHOTOS



2 REAR ELEVATION - EXISTING PHOTOS



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DATE: 04/30/25

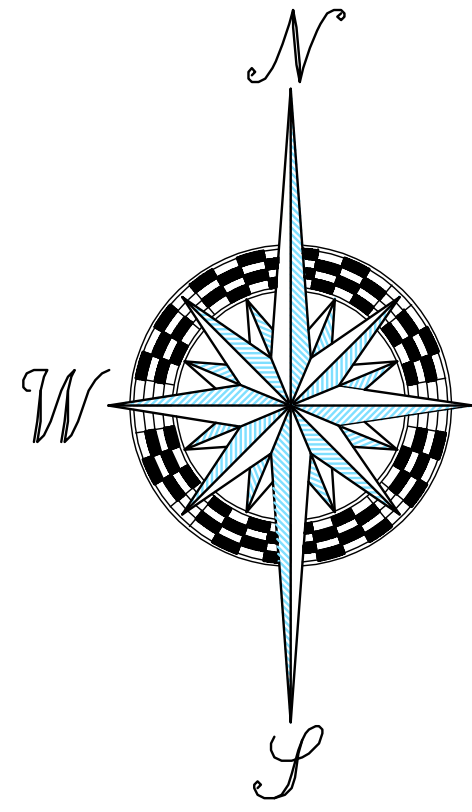
REVISION:

DRAWING TITLE

EXISTING PHOTOS

DRAWING NUMBER

G-03



Area In Use By Adjoiner

River Street

Sixth Ave.



Encroachment Into Street
 Cornice - 1.5"
 Window Sills & Lintels - 0.2"
 Concrete Step 3.7"



Front Of #834 & #836 River Street



Rear Of #834 & #836 River Street

NOTES:
 1. This survey was prepared for the sole purpose of reporting the actual field conditions of the subject real property for the exclusive use of Troy Community Land Bank Corporation and SHALL NOT BE USED FOR ANY OTHER PURPOSE BEYOND SAID SAME, to include a mortgage title insurance policy, fee title insurance policy, survey or owner/seller's affidavit, remortgaging/refinancing, foreclosure, public auction, any future transfer of title, or any other use of said survey, unauthorized by law and/or by contract with the surveyor which use shall invalidate the certification and BE IN DIRECT VIOLATION OF THE CONTRACT WITH THE CLIENT.

Certifications indicated hereon signify that the plat was prepared from an actual field survey conducted in accordance with the standards set forth in the Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, as last revised on July 18, 1997.

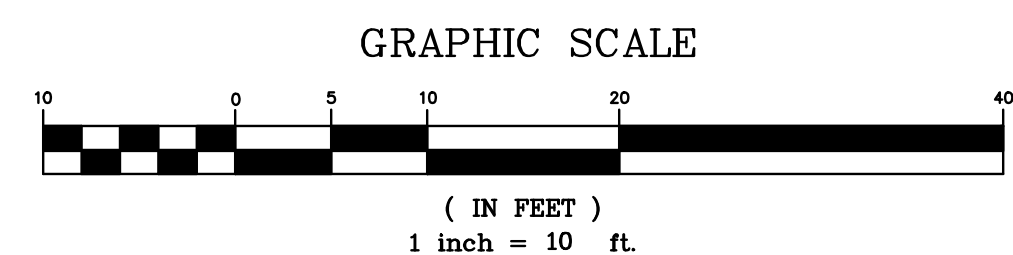
- This survey and the certification hereon shall be valid only to the party or parties hereon named and are not transferable to additional institutions or subsequent owners, other than as may be or expressly stated hereon.
- No current Abstract of Title or Title Report provided. This survey is subject to any statement of facts that a current Abstract of Title or Title Report may disclose.
 - No search of the public record was made for easements, agreements or restrictions that may affect the surveyed parcel. An Abstract of Title is recommended to ascertain what easements, agreements or restrictions that may affect the survey parcel.
 - Subject to any subsurface condition, improvement, and/or encroachment, not evident by surface inspection.
 - Survey excepts the location of any possible prescriptive easement by others, unless specifically noted hereon.
 - Unless specifically stated the surveyor is not responsible for identifying features which are under the jurisdiction of governmental agencies, including but not limited to: designated wetlands, flood plains, floodways, dumps, landfills, hazardous waste sites, protected or endangered flora and fauna, archeological, historical, cultural, private cemeteries and/or burial plots if any, etc. It is also the surveyors responsibility to determine if the present use of the parcel or the location of existing structures conform to the current local zoning ordinance or if said uses or locations conform to the zoning ordinance in effect at the time of construction or occupancy.
 - This map may not be used in connection with a "Survey Affidavit" or similar document, statement or mechanism to obtain title insurance for any subsequent or future grantees.
 - Deed of Record Book 10004, Page 116.

MAP REFERENCES:
 1. "Survey Showing Division Of Lot #8 On The East Side Of River St., In The City Of Troy, N.Y. Also Showing Location Of Houses #836 & #834 Thereon", dated March 8, 1947, and prepared by A.F. King. Map not in the Public Record.

CERTIFIED TO:
 1. Troy Community Land Bank Corporation

NOTE:
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**OWNER'S LAND TITLE SURVEY
 LANDS OF
 TROY COMMUNITY LAND BANK
 #836 RIVER STREET**



Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, sub-division 2, of the New York State Education Law.
 "Only copies from the original of this survey marked with an original of the land surveyor's inked seal or his embossed seal shall be considered to be valid true copies."
 Only copies from original of this survey marked with an original of the land surveyor's signature in RED shall be considered to be valid copies.
ORIGINAL DOCUMENT IS IN RED

DATE	RECORD OF WORK	DRAWN	APPR.
2/14/23	Prepared For Troy Community Land Bank Corp.	WVGJR	RDM

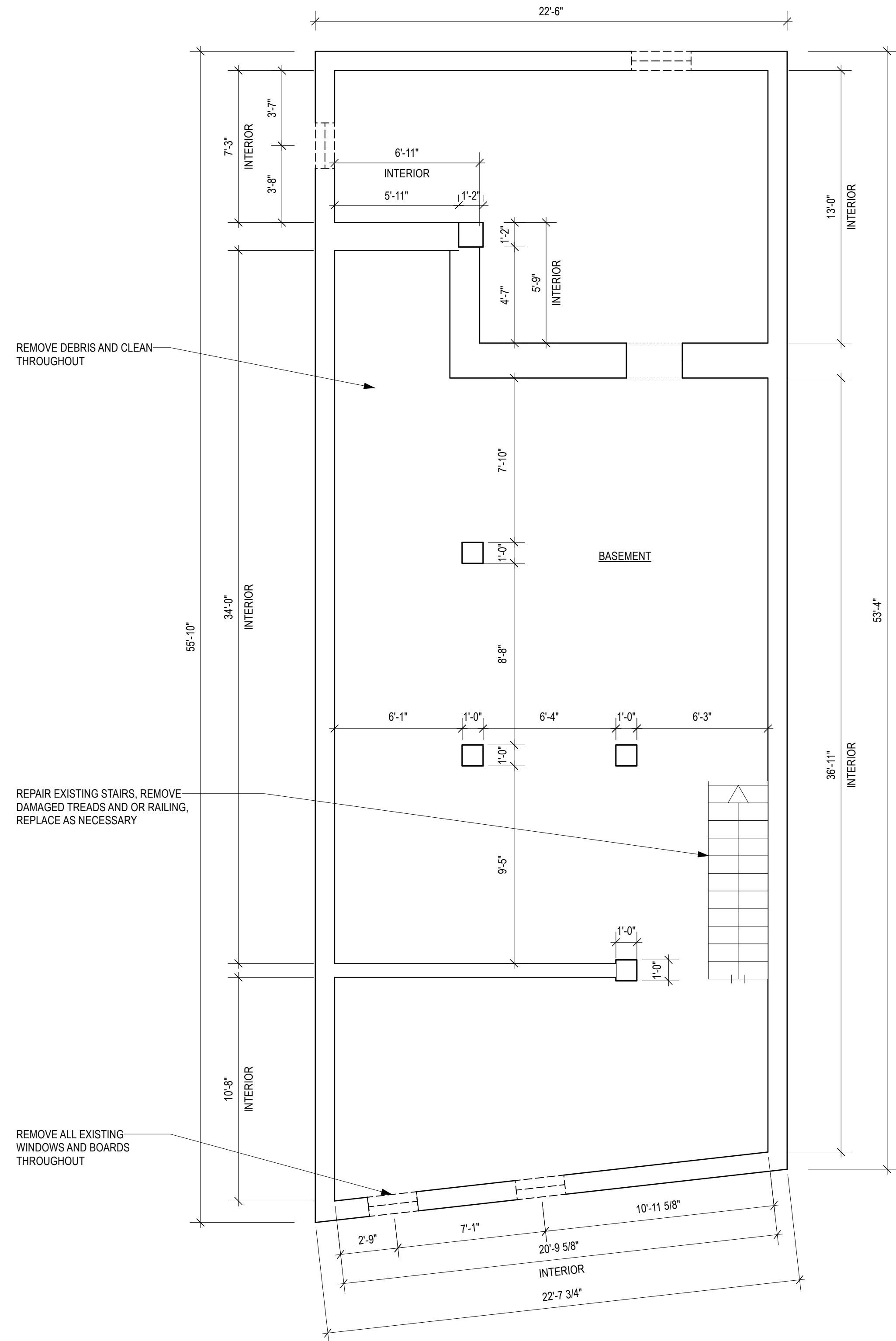
CITY: TROY	COUNTY: RENSSELAER
STATE: NEW YORK	SURVEY: FEB. 13, 2023
SCALE: 1" = 10'	MAP: FEB. 14, 2023
PROJECT NO. CITY NORTH BLOCK 197 23-4178	

RDM
 SURVEYING CONSULTANTS
 8 Grange Road
 Troy, N.Y. 12180
 RDMSurveying.net

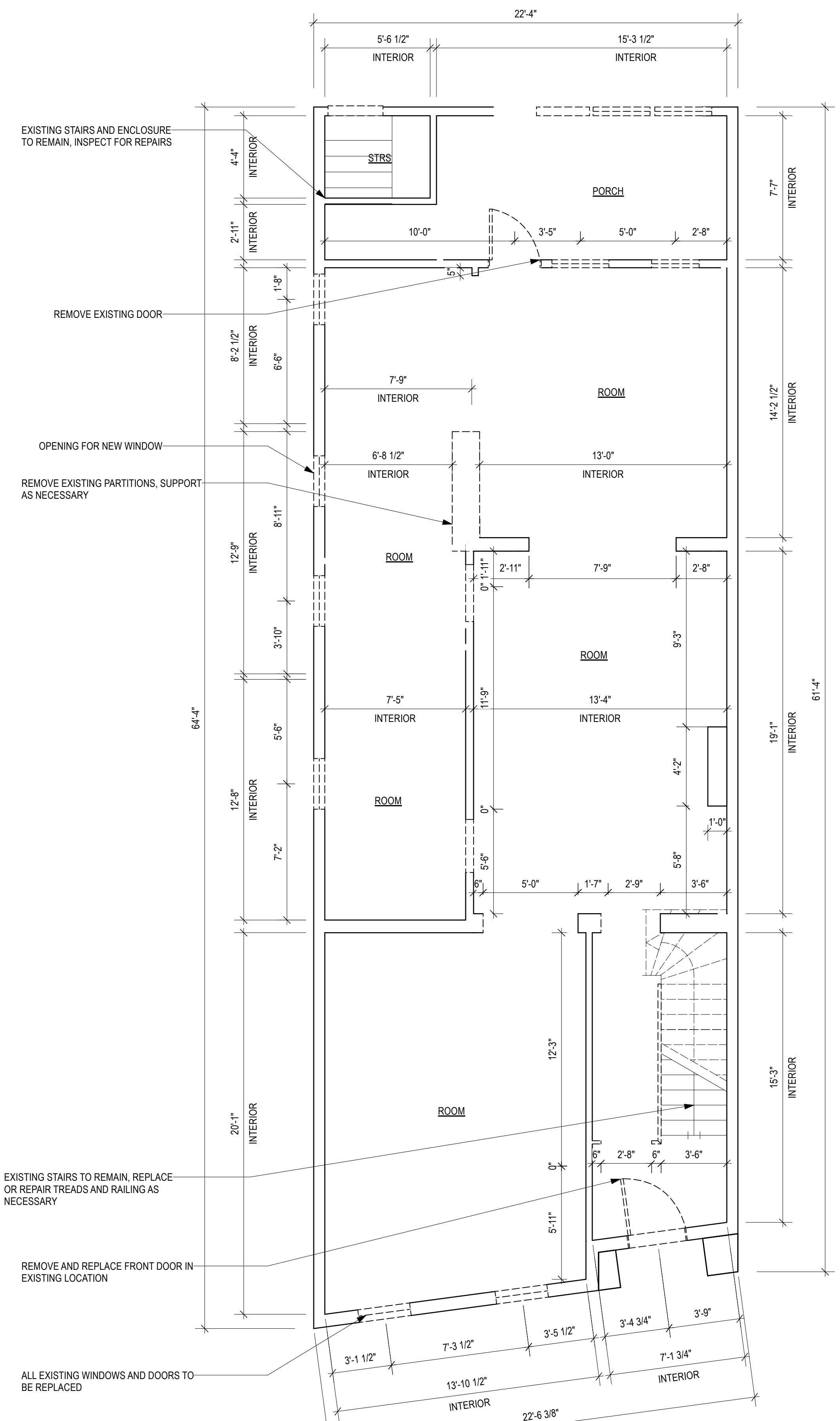
(518) 279-3425
 FAX: 279-3028
 Rmichael@RDMSurveying.net

DEMOLITION NOTES

1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
6. REMOVE ALL WINDOWS AND FRAMES THROUGHOUT, TO BE REPLACED AT EXISTING LOCATIONS.



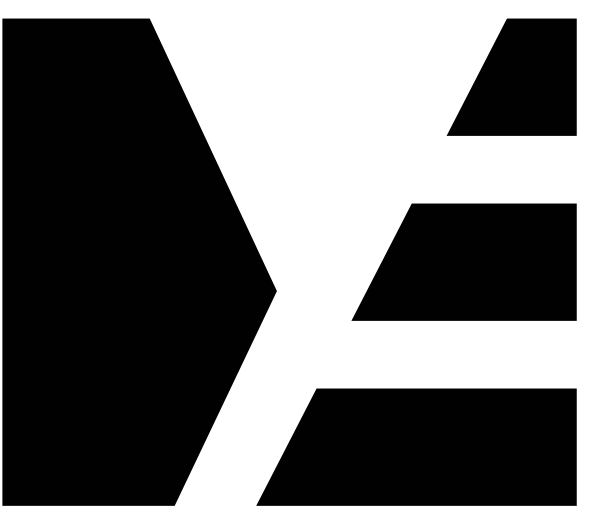
1 BASEMENT DEMOLITION PLAN
Scale: 1/4" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
Scale: 1/4" = 1'-0"

LEGEND

	EXISTING CONDITIONS TO REMAIN
	TO BE REMOVED



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ARCHITECTURE . DESIGN . DEVELOPMENT

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PROJECT

BUILDING ALTERATION
836 RIVER STREET
TROY, NY 12180

ISSUED FOR

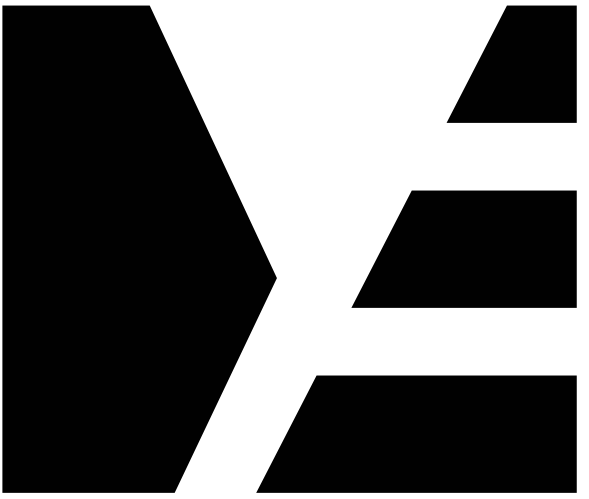
PERMIT

DATE: 04/30/25
REVISION:

DRAWING TITLE
BASEMENT & FIRST FLOOR DEMOLITION PLAN

DRAWING NUMBER

D-100



ME | STUDIO
ARCHITECTURE . DESIGN . DEVELOPMENT

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TROY, NY 12180
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PROJECT

BUILDING ALTERATION
836 RIVER STREET
TROY, NY 12180

ISSUED FOR

PERMIT

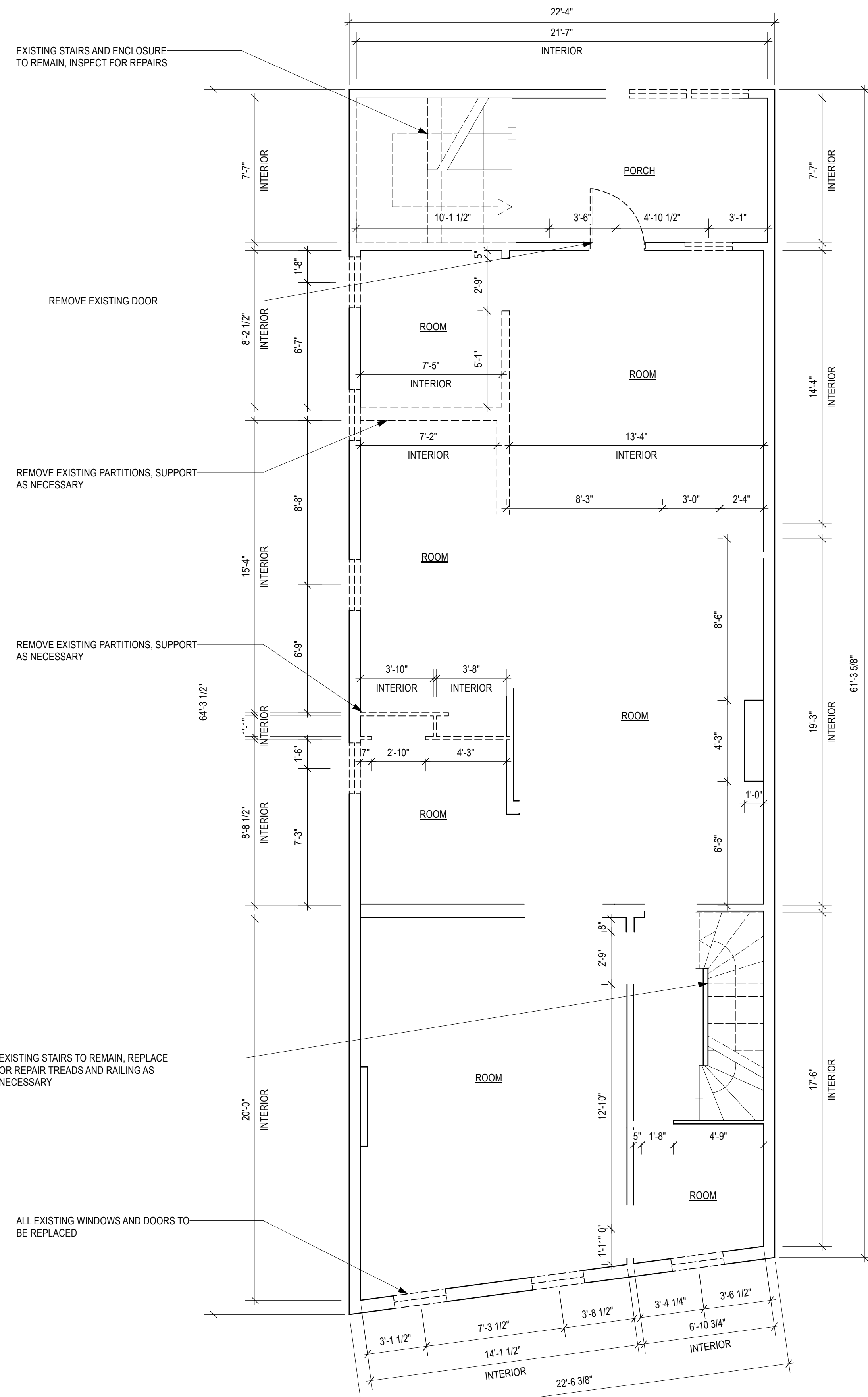
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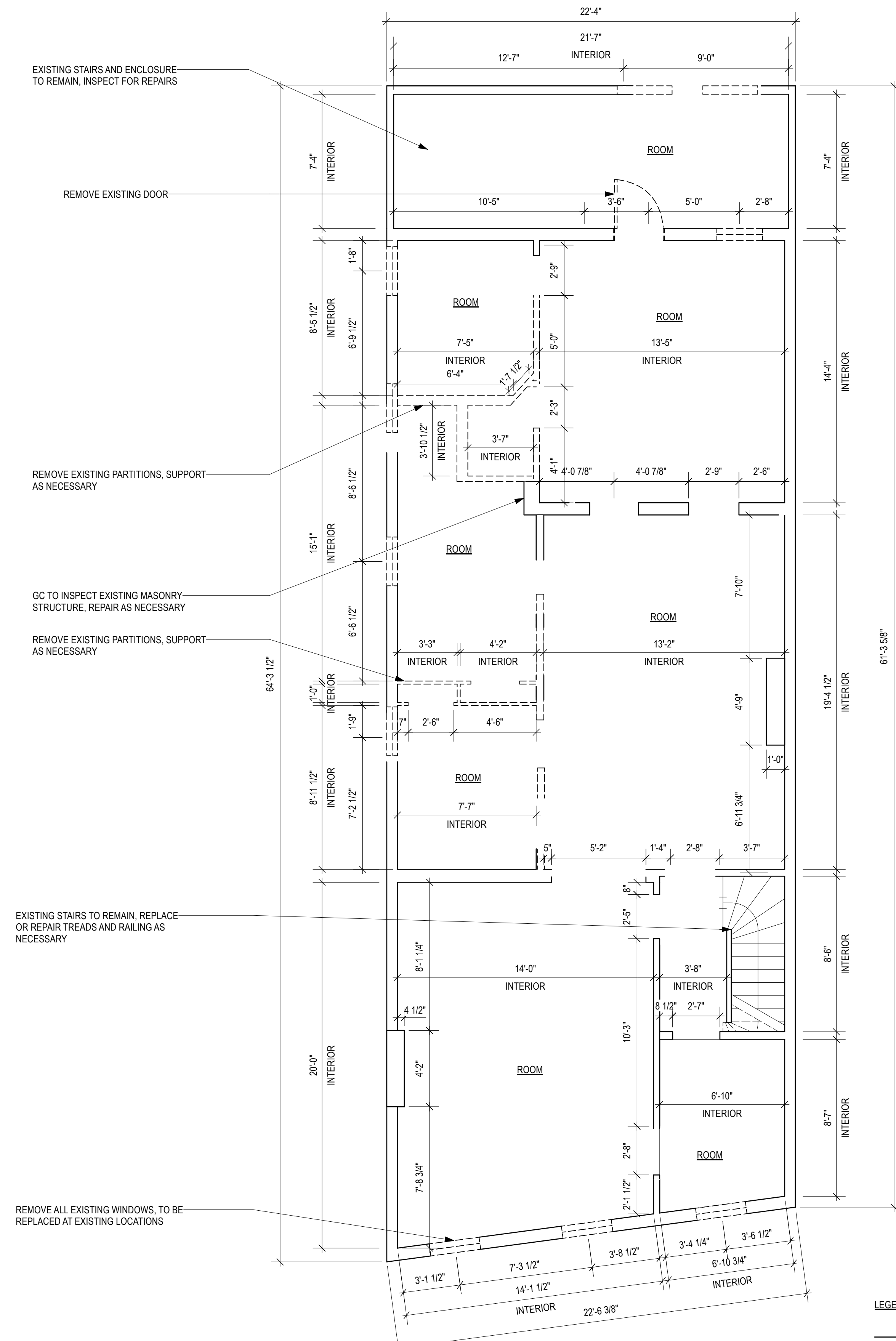
**SECOND & THIRD
DEMOLITION PLAN**

DRAWING NUMBER

D-101

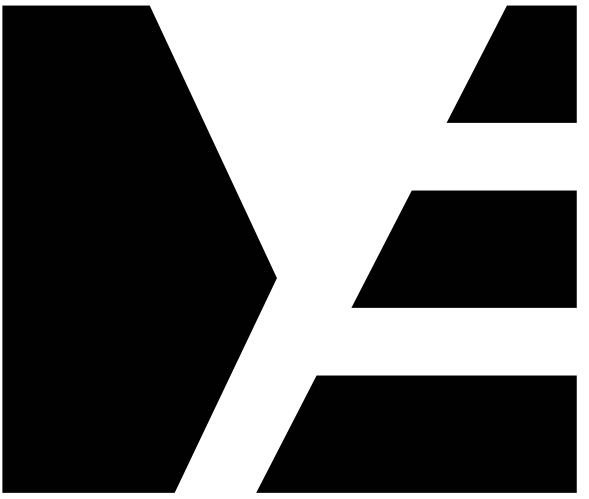


1 SECOND FLOOR - DEMOLITION PLAN
Scale: 1/4" = 1'-0"



2 THIRD FLOOR - DEMOLITION PLAN
Scale: 1/4" = 1'-0"

LEGEND
 EXISTING CONDITIONS TO REMAIN
 TO BE REMOVED



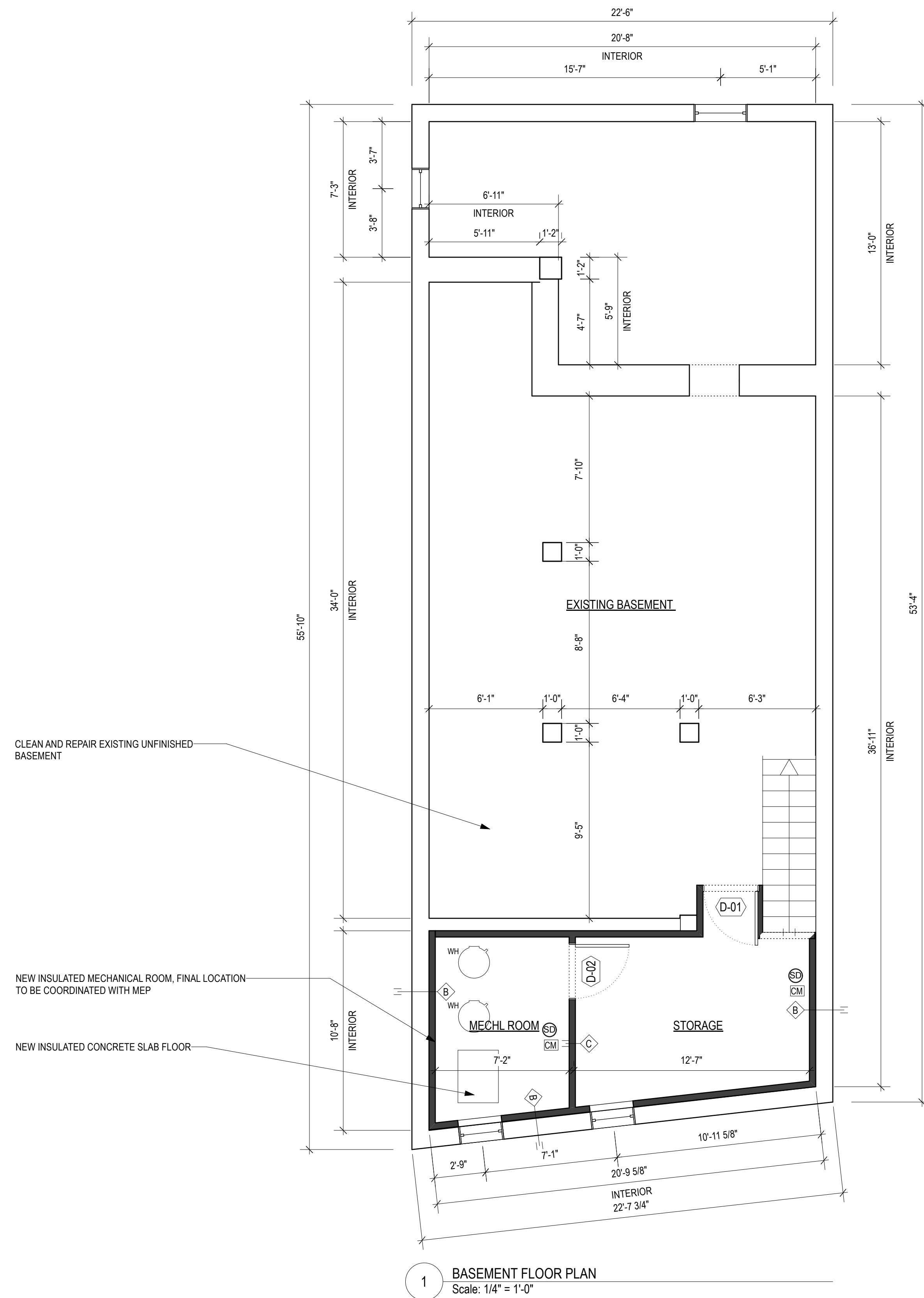
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BUILDING ALTERATION

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DRAWING TITLE

BASEMENT FLOOR PLAN

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A-100



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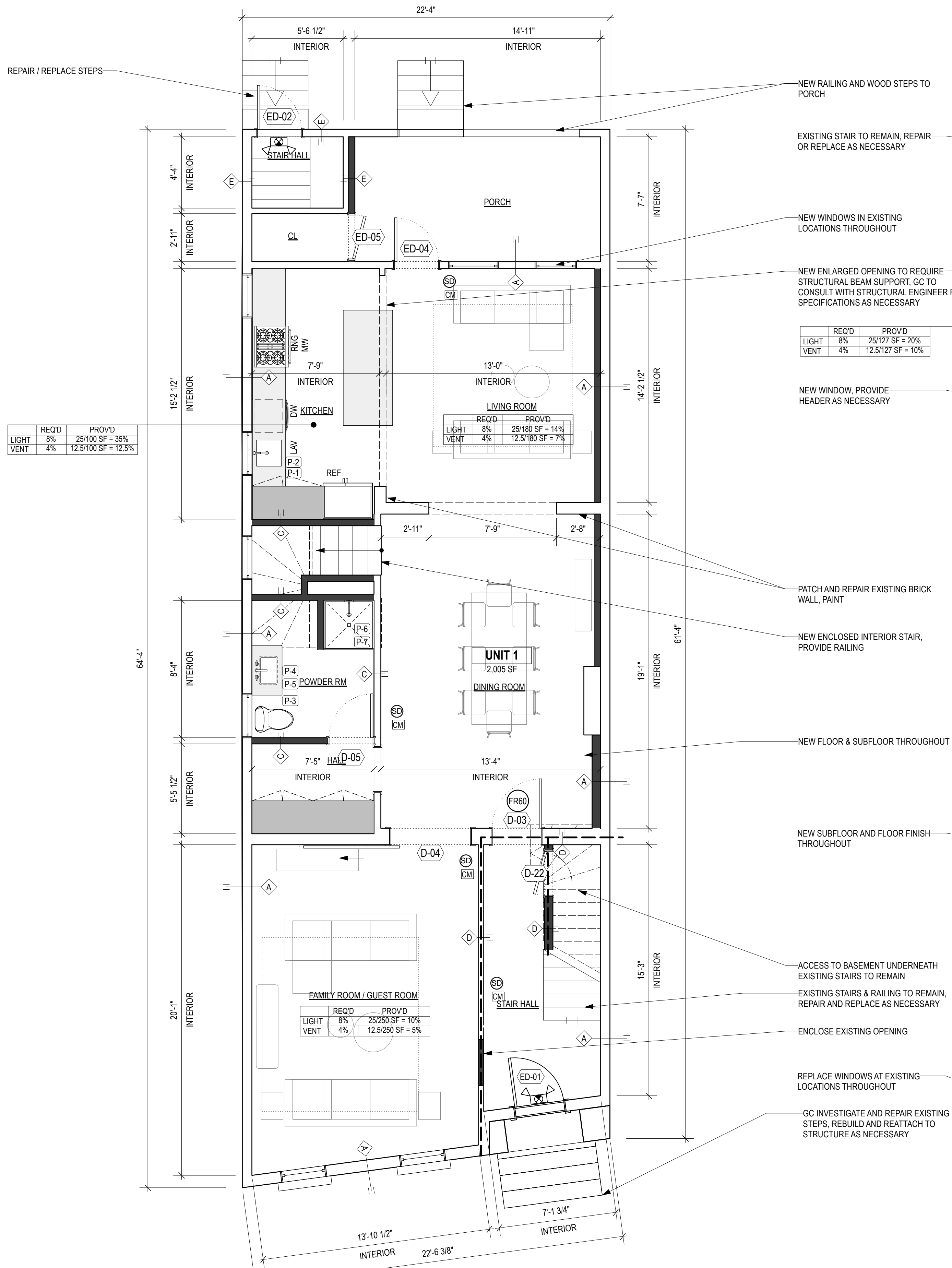
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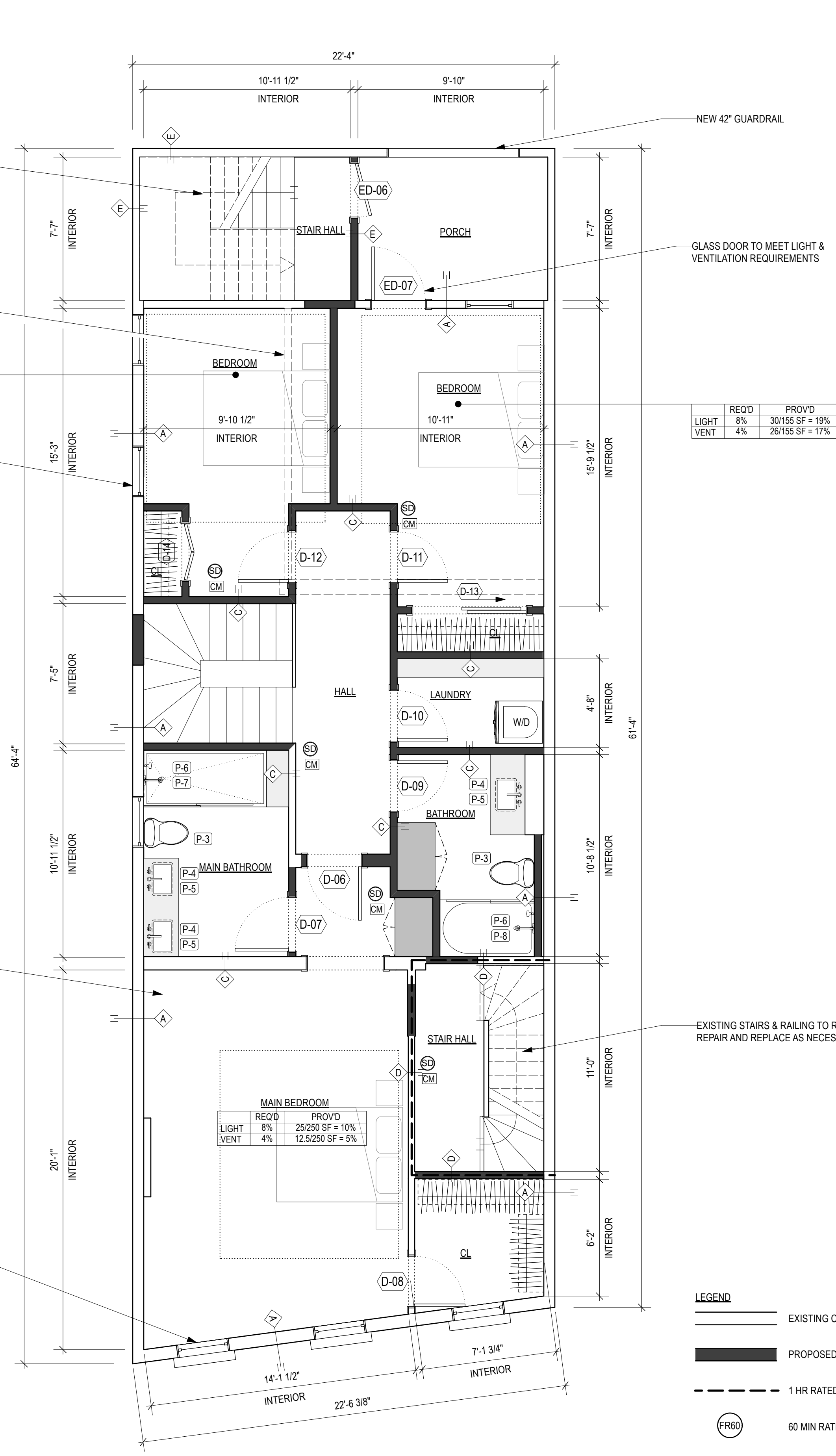
FIRST & SECOND FLOOR PLAN

DRAWING NUMBER

A-101



1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

- LEGEND**
- EXISTING CONDITIONS TO REMAIN
 - PROPOSED WALLS
 - 1 HR RATED PARTITION
 - 60 MIN RATED DOOR W/CLOSER
 - HARD-WIRED SMOKE DETECTOR, WITH BATTERY BACK-UP
 - CARBON MONOXIDE DETECTOR



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THIRD FLOOR & ROOF PLAN

DRAWING NUMBER

A-102

NEW ENLARGED OPENING TO REQUIRE STRUCTURAL BEAM SUPPORT. GC TO CONSULT WITH STRUCTURAL ENGINEER FOR SPECIFICATIONS AS NECESSARY

	REQ'D	PROVD
LIGHT	8%	25/116 SF = 22%
VENT	4%	12.5/116 SF = 11%

NEW WINDOW

	REQ'D	PROVD
LIGHT	8%	12.5/76 SF = 17%
VENT	4%	6/76 SF = 8%

EXISTING ROOF PATCH AND REPAIR AS NECESSARY

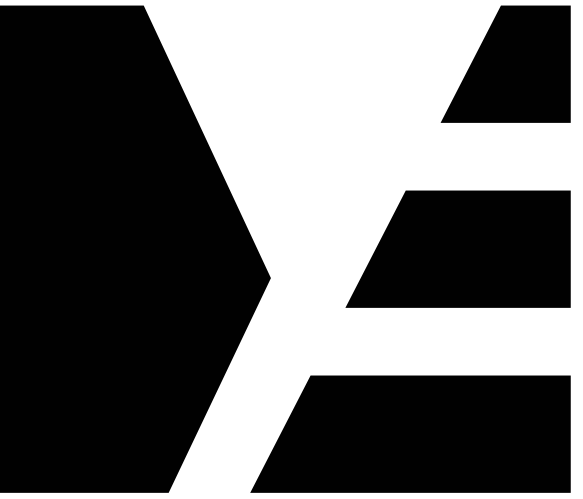
	REQ'D	PROVD
LIGHT	8%	30/155 SF = 19%
VENT	4%	26/155 SF = 17%

1 THIRD FLOOR PLAN
Scale: 1/4" = 1'-0"

2 ROOF PLAN
Scale: 1/4" = 1'-0"

LEGEND

- EXISTING CONDITIONS TO REMAIN
- PROPOSED WALLS
- 1 HR RATED PARTITION
- 60 MIN RATED DOOR W/CLOSER
- HARD-WIRED SMOKE DETECTOR, WITH BATTERY BACK-UP
- CARBON MONOXIDE DETECTOR



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GC TO INSPECT AND REPAIR /
REPLACE ALL ROOF COPING
AND FLASHING AS
NECESSARY

REPAIR DECORATIVE TRIM AS
NECESSARY

REPLACE ALL WINDOWS
THROUGHOUT

REPAIR EXISTING BRICK
FACADE THROUGHOUT

NEW HANDRAIL

REPAIR STEPS

GC TO INSPECT AND REPAIR /
REPLACE ALL ROOF COPING
AND FLASHING AS
NECESSARY

ROOF ELEV
31'-0"

THIRD FLR ELEV
23'-0"

SECOND FLR ELEV
13'-6"

NEW VINYL SIDING

NEW HANDRAIL

REPLACE / REPAIR STEPS

NEW STEPS TO PORCH

FIRST FLR ELEV
3'-8"

GRADE
0'-0"

1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

2 REAR ELEVATION
Scale: 1/4" = 1'-0"

PROJECT

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DRAWING TITLE

ELEVATIONS

DRAWING NUMBER

A-200



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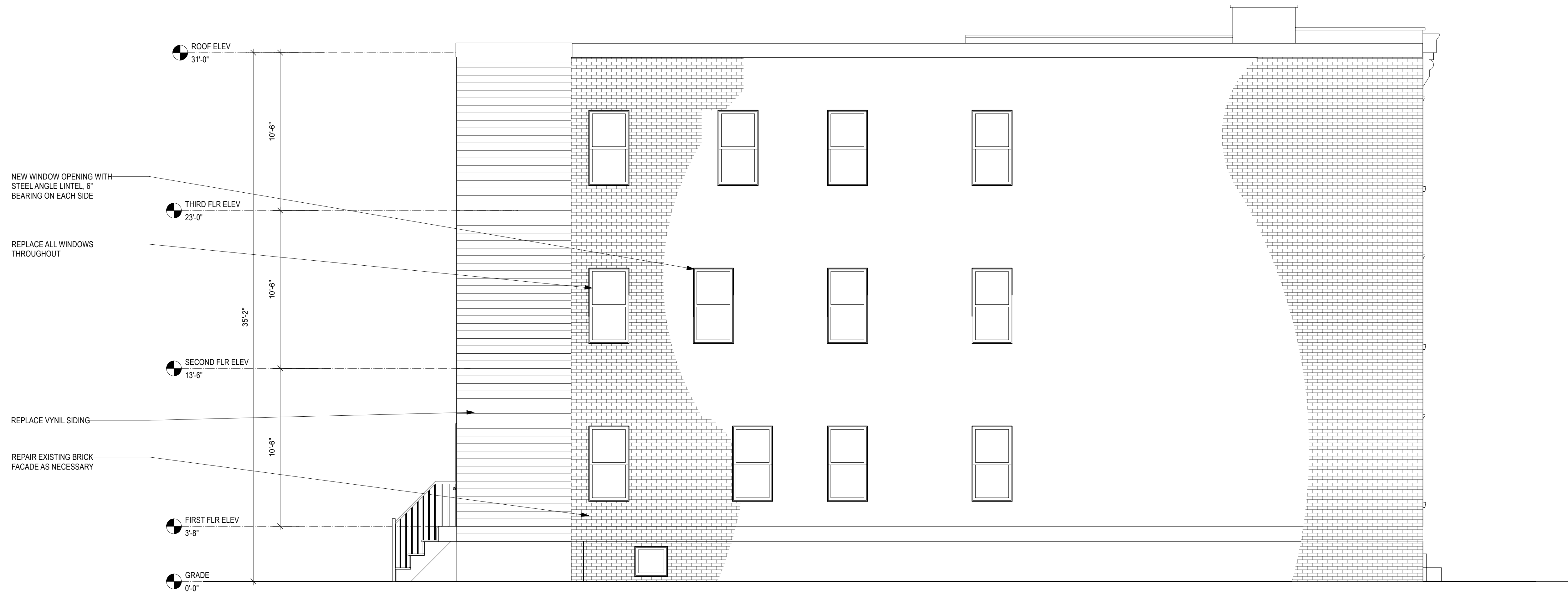
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DRAWING TITLE

ELEVATIONS

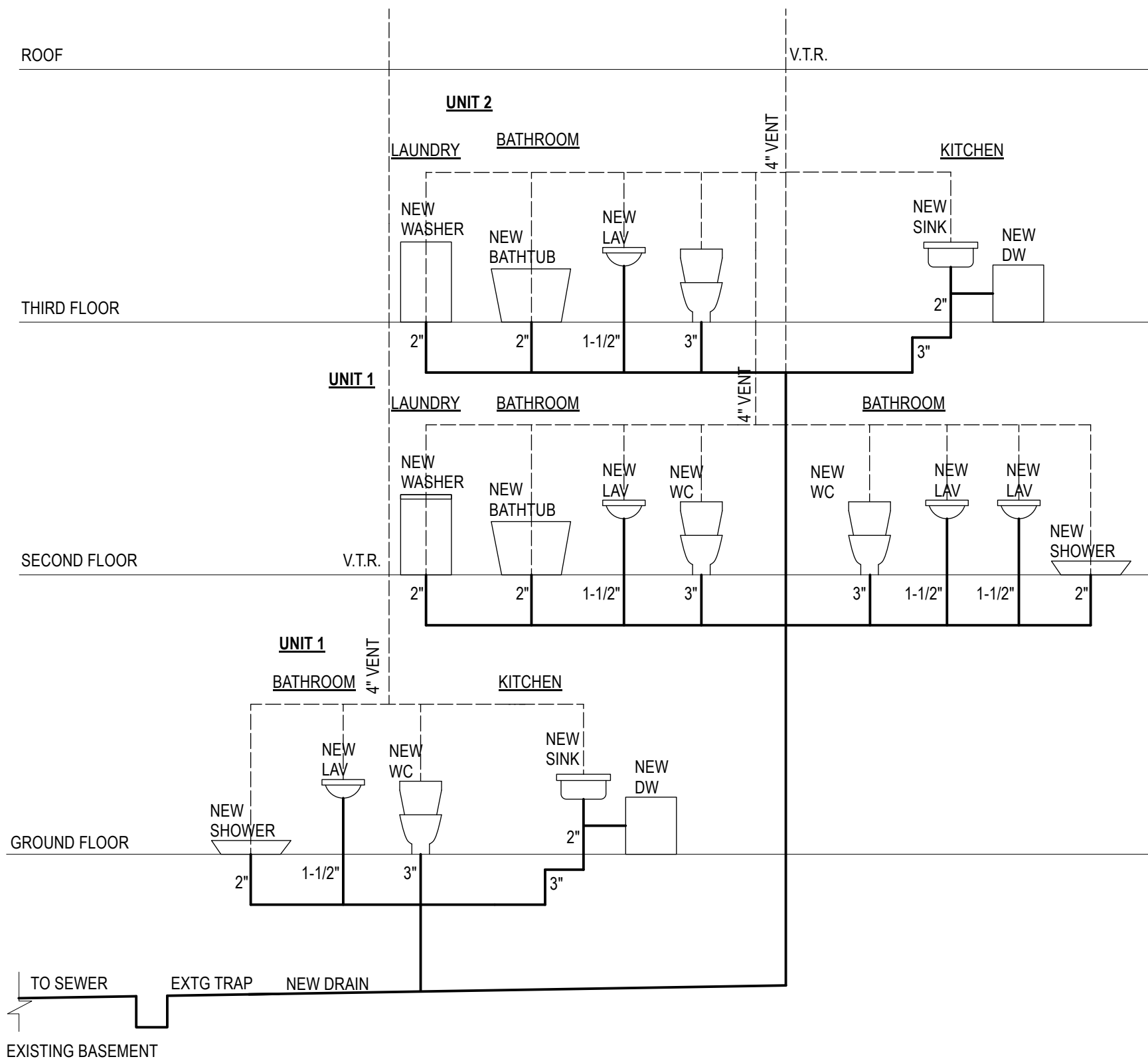
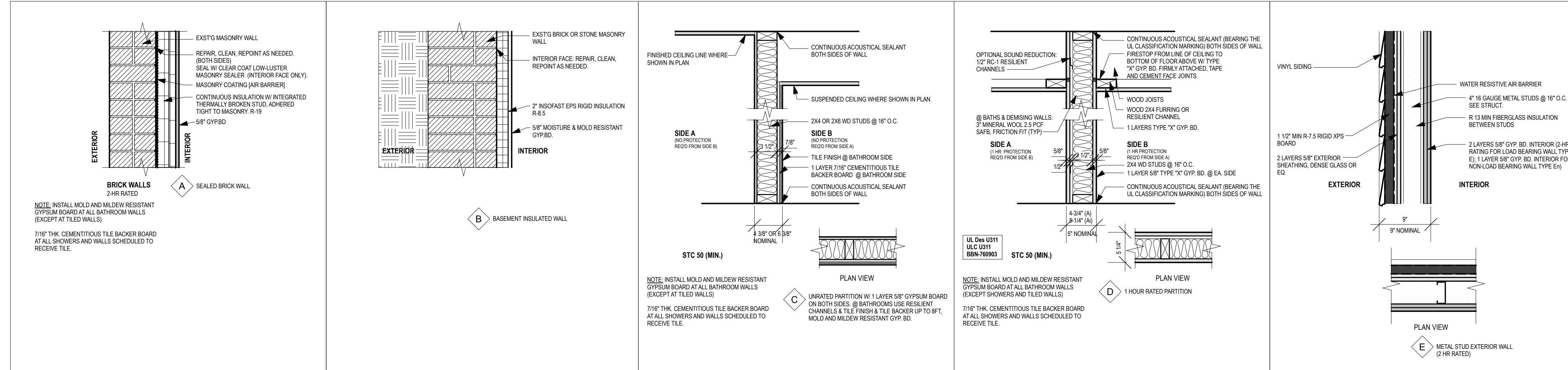
DRAWING NUMBER

A-201

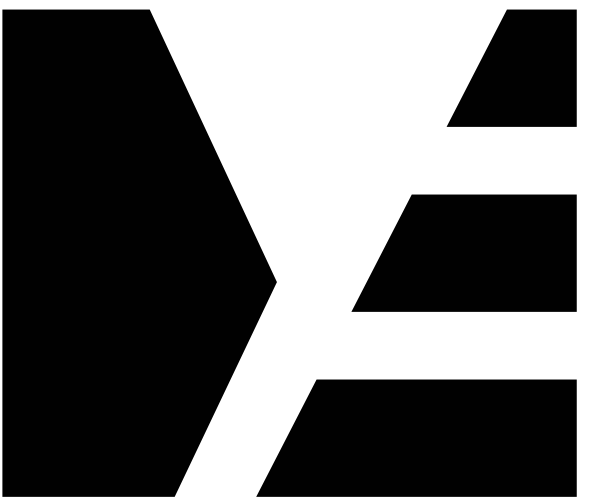


1 SOUTH SIDE ELEVATION
Scale: 1/4" = 1'-0"

WALL TYPES



2 PLUMBING RISER DIAGRAM



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DETAILS

DRAWING NUMBER

A-600



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Door Schedule

Mark	Nominal Size			Configuration	Door Style					Door Frame		Openings			Comments		
	Width	Height	Thickness		Top Shape	Slab Style	Side Lights	L Sideit Wid	R Sideit Wid	Glaz. Style	Jamb Thick	Jamb Depth	RO Width	RO Height		HW Set	
D-01	3'0"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4"	3'0"	6'10"	DHW.#	
D-02	3'0"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4"	3'0"	6'10"	DHW.#	
D-03	3'0"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4"	3'0"	6'10"	DHW.#	
D-04	4'10"	6'10"	1 3/4"	Barn Bypass	N/A	Square	Panel			N/A	N/A None	3/4"	4"	3'0"	6'10"	DHW.#	
D-05	2'8"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'9 1/2"	6'10 3/4"	DHW.#	
D-06	2'10"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'11 1/2"	6'10 3/4"	DHW.#	
D-07	2'10"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'11 1/2"	6'10 3/4"	DHW.#	
D-08	2'8"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'9 1/2"	6'10 3/4"	DHW.#	
D-09	2'8"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'9 1/2"	6'10 3/4"	DHW.#	
D-10	2'8"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'9 1/2"	6'10 3/4"	DHW.#	
D-11	2'8"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'9 1/2"	6'10 3/4"	DHW.#	
D-12	2'8"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'9 1/2"	6'10 3/4"	DHW.#	
D-13	6'0"	6'10"	1 3/4"	Slider	XO	Square	Panel			N/A	N/A None	3/4"	4 1/2"	6'1 1/2"	6'10 3/4"	DHW.#	
D-14	3'0"	6'10"	1 3/4"	Bi-fold Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	3'1 1/2"	6'10 3/4"	DHW.#	
D-15	2'8"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'9 1/2"	6'10 3/4"	DHW.#	
D-16	2'8"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'9 1/2"	6'10 3/4"	DHW.#	
D-17	2'8"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'7 1/2"	6'10 3/4"	DHW.#	
D-18	5'0"	6'10"	1 3/4"	Slider	XO	Square	Panel			N/A	N/A None	3/4"	4 1/2"	5'1 1/2"	6'10 3/4"	DHW.#	
D-19	2'10"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'11 1/2"	6'10 3/4"	DHW.#	
D-20	5'0"	6'10"	1 3/4"	Slider	XO	Square	Panel			N/A	N/A None	3/4"	4 1/2"	5'1 1/2"	6'10 3/4"	DHW.#	
D-21	2'8"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'9 1/2"	6'10 3/4"	DHW.#	
D-22	2'8"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'9 1/2"	6'10 3/4"	DHW.#	
D-23	2'8"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'9 1/2"	6'10 3/4"	DHW.#	
ED-01	3'0"	6'8"	1 3/4"	Swing Simple	N/A	Segment	Custom			N/A	N/A None	3/4"	8"	3'1 1/2"	7'4 1/2"	DHW.#	PROVIDE WEATHER STRIP AND THRESHOLD (SAFETY GLAZING REQUIRED)
ED-02	2'8"	6'8"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	5 1/2"	2'9 1/2"	6'8 3/4"	DHW.#	
ED-04	2'8"	6'8"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	5 1/2"	2'9 1/2"	6'8 3/4"	DHW.#	
ED-05	2'8"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'9 1/2"	6'10 3/4"	DHW.#	
ED-06	2'10"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'11 1/2"	6'10 3/4"	DHW.#	
ED-07	2'10"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'11 1/2"	6'10 3/4"	DHW.#	
ED-08	2'10"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'11 1/2"	6'10 3/4"	DHW.#	
ED-09	2'8"	6'10"	1 3/4"	Swing Simple	N/A	Square	Panel			N/A	N/A None	3/4"	4 1/2"	2'9 1/2"	6'10 3/4"	DHW.#	

PLUMBING FIXTURE SCHEDULE

LOCATION	TYPE	MANUFACTURER	MODEL NAME/NUMBER	FINISH	NOTES
Kitchen	P-1	Kitchen Sink	TBD	TBD	
	P-2	Kitchen Faucet	TBD	TBD	
Bathroom	P-3	Toilet	TBD	TBD	
	P-4	Bathroom Lavatory	TBD	TBD	
	P-5	Bathroom Faucet	TBD	TBD	
	P-6	Showerhead, Tub Spout, & Controls	TBD	TBD	
	P-7	Shower Pan & Drain	TBD	TBD	
	P-8	Bathtub	TBD	TBD	
	P-9	Bathtub spout	TBD	TBD	
	P-10	Exterior Spigot	TBD	TBD	

Note: Verify all plumbing fixtures w/Owner prior to purchase. GC to provide and install all plumbing fixtures

EQUIPMENT SCHEDULE

LOCATION	TYPE	MANUFACTURER	MODEL NAME/NUMBER	NOTES
Kitchen	EQ-1	Electric Range	TBD	TBD
	EQ-2	DW	TBD	TBD
	EQ-3	Refrigerator / Freezer	TBD	TBD
	EQ-4	Microwave	TBD	TBD
Laundry Closet	EQ-5	Stacked Washer & Dryer	TBD	TBD
Mechanical Room	WH-1	Water Heater	TBD	TBD

Note: Verify all equipment specifications prior to ordering.

PROJECT

BUILDING ALTERATION
836 RIVER STREET
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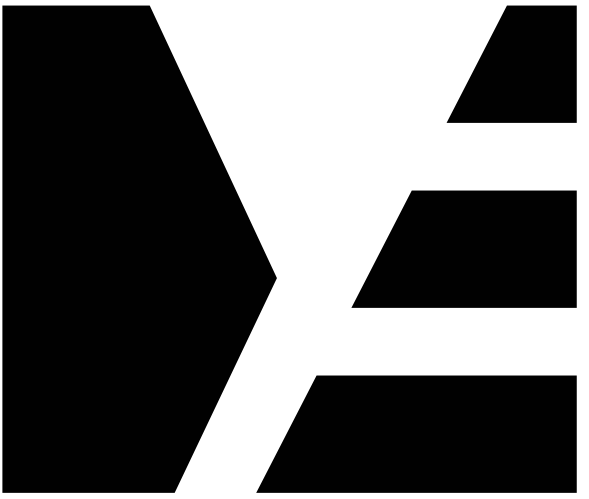
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SCHEDULES

DRAWING NUMBER

A-601



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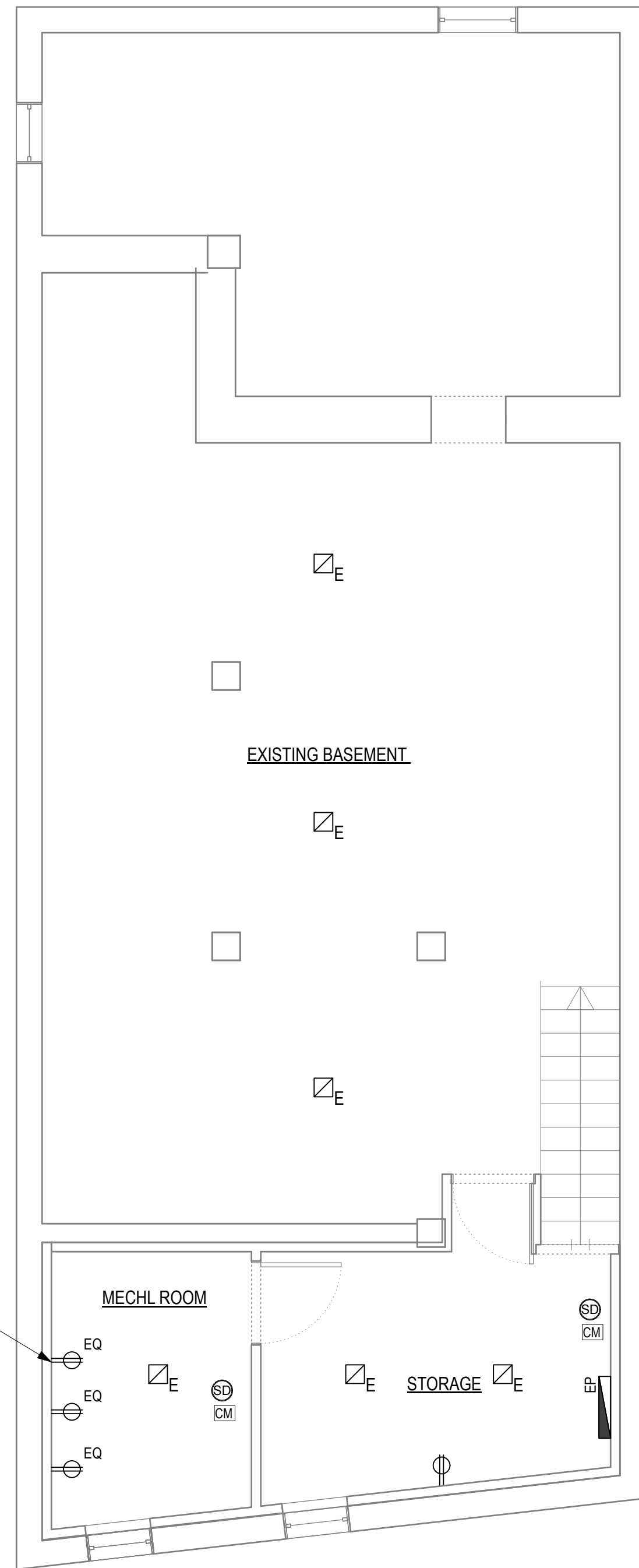
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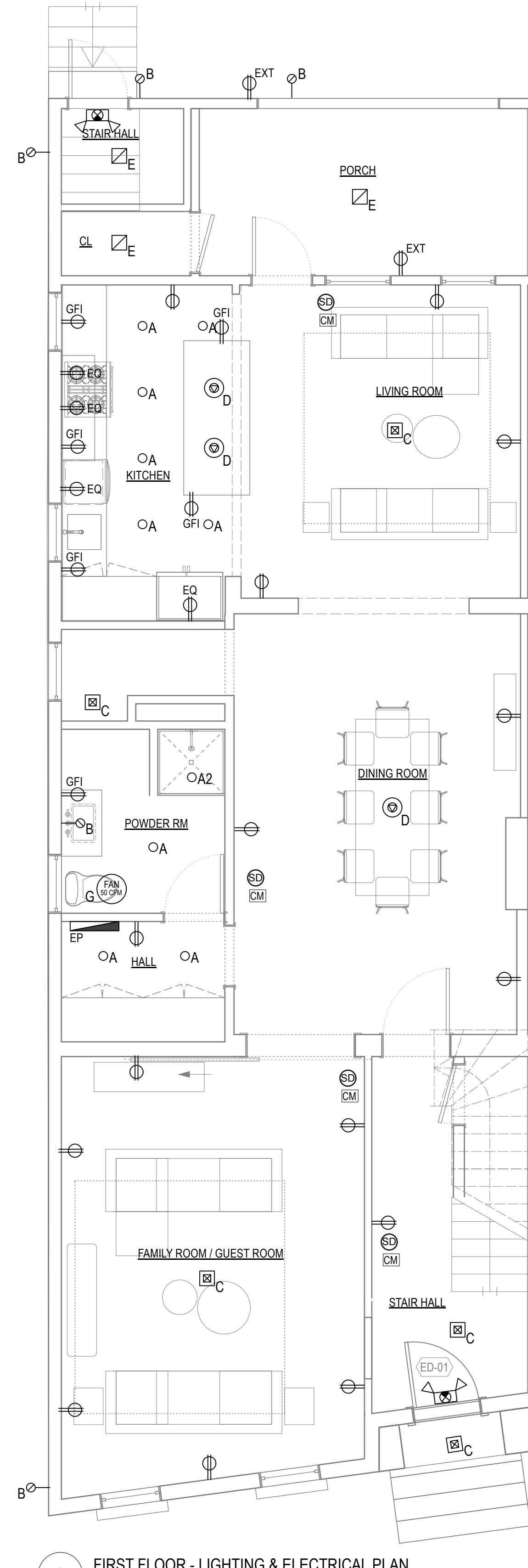
ELECTRICAL & LIGHTING PLANS

DRAWING NUMBER

E-100



1 BASEMENT - ELECTRICAL & LIGHTING PLAN
Scale: 1/4" = 1'-0"



2 FIRST FLOOR - LIGHTING & ELECTRICAL PLAN
Scale: 1/4" = 1'-0"

ELECTRICAL NOTES

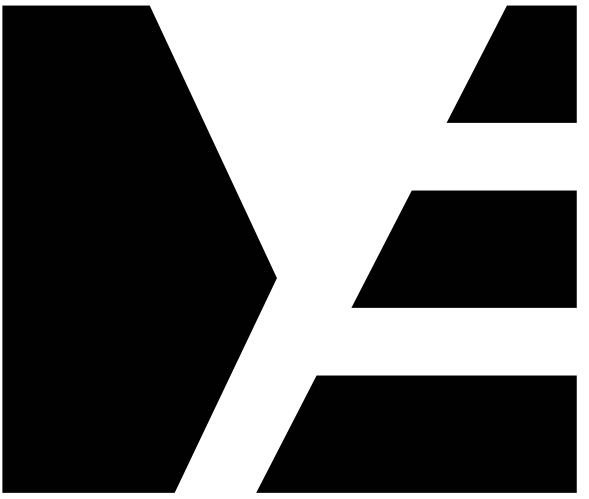
1. Electrical service to the Building shall not be overloaded by proposed renovations.
2. AFCI protection shall be provided for all new general purpose receptacle branch circuits. All new general purpose receptacles shall be tamper resistant type as required.
3. All affected electrical components, wiring, fixtures, etc. within the building shall be examined by a licensed electrician prior to installation of finished surfaces to verify that all complies with applicable Codes and standards.
4. A licensed electrician shall perform all electrical repairs, modifications, etc.
5. GC to coordinate walk-thru with Owner to confirm all device locations prior to running wire to exact locations.

ELECTRICAL KEY

- DUPLEX OUTLET. USE WEATHERPROOF FOR EXTERIOR (EXT)
- DUPLEX GROUND FAULT INTERRUPTOR OUTLET
- EQUIPMENT POWER. REFER TO EQUIPMENT SPECS.
- ELECTRICAL PANEL (EXISTING SERVICE TO BE CONFIRMED)

COORDINATE REQUIRED
POWER WITH MEP

FIXTURE	SYMBOL	DESCRIPTION	MANUF.	MODEL NO.	MOUNTING	LAMPING
A	○A	RECESSED LED DOWNLIGHT. A-2 DENOTES WET RATED.	TBD	TBD	RECESSED	2.5 W LED
B	—○B	DECORATIVE WALL SCONCE	TBD	TBD	WALL MOUNTED	2.5 W LED
C	⊠C	CEILING MOUNTED DECORATIVE PENDANT	TBD	TBD	CEILING MOUNTED	20 W
D	⊙D	CEILING MOUNTED DECORATIVE PENDANT	TBD	TBD	CEILING MOUNTED	20 W
E	⊠E	CEILING MOUNTED LED UTILITY FIXTURE	TBD	TBD	CEILING MOUNTED	5 W LED
F	▨F	UNDERCABINET LED STRIP	TBD	TBD	CEILING MOUNTED	2 W LED
H	▨H	CEILING MOUNTED TRACK LIGHT	TBD	TBD	CEILING MOUNTED	5 W LED



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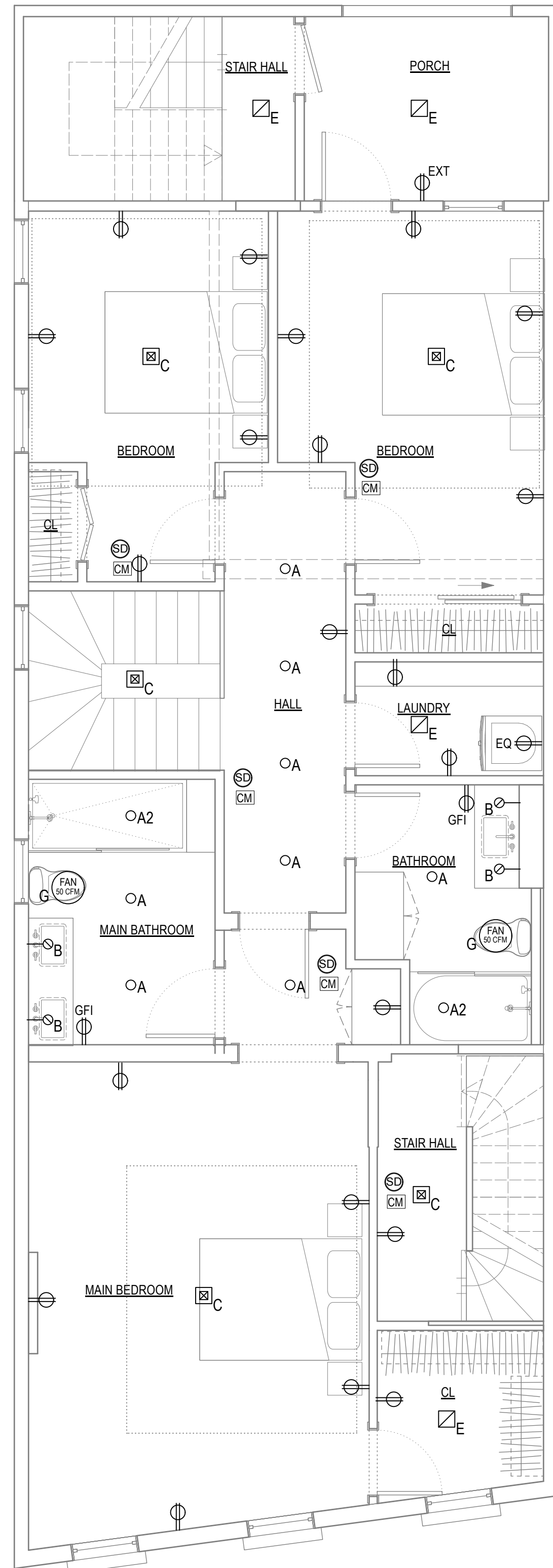
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ELECTRICAL & LIGHTING PLANS

DRAWING NUMBER

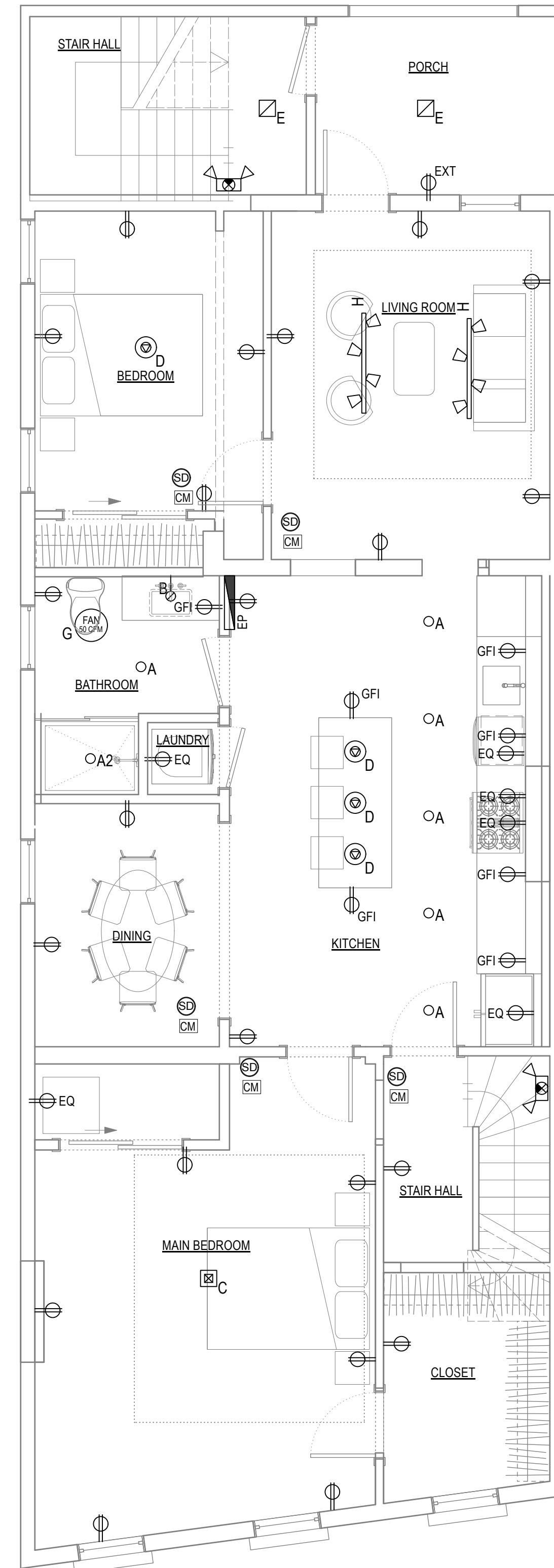
E-101



1 SECOND FLOOR - ELECTRICAL & LIGHTING PLAN
Scale: 1/4" = 1'-0"

ELECTRICAL KEY

- DUPLEX OUTLET. USE WEATHERPROOF FOR EXTERIOR (EXT)
- DUPLEX GROUND FAULT INTERRUPTOR OUTLET
- EQUIPMENT POWER. REFER TO EQUIPMENT SPECS.
- ELECTRICAL PANEL (EXISTING SERVICE TO BE CONFIRMED)



2 THIRD FLOOR - ELECTRICAL & LIGHTING PLAN
Scale: 1/4" = 1'-0"

ELECTRICAL NOTES

1. Electrical service to the Building shall not be overloaded by proposed renovations.
2. AFCI protection shall be provided for all new general purpose receptacle branch circuits. All new general purpose receptacles shall be tamper resistant type as required.
3. All affected electrical components, wiring, fixtures, etc. within the building shall be examined by a licensed electrician prior to installation of finished surfaces to verify that all complies with applicable Codes and standards.
4. A licensed electrician shall perform all electrical repairs, modifications, etc.
5. GC to coordinate walk-thru with Owner to confirm all device locations prior to running wire to exact locations.

LIGHT FIXTURE SCHEDULE						
FIXTURE	SYMBOL	DESCRIPTION	MANUF.	MODEL NO.	MOUNTING	LAMPING
A	○A	RECESSED LED DOWNLIGHT. A-2 DENOTES WET RATED.	TBD	TBD	RECESSED	2.5 W LED
B	—B	DECORATIVE WALL SCONCE	TBD	TBD	WALL MOUNTED	2.5 W LED
C	⊠C	CEILING MOUNTED DECORATIVE PENDANT	TBD	TBD	CEILING MOUNTED	20 W
D	⊙D	CEILING MOUNTED DECORATIVE PENDANT	TBD	TBD	CEILING MOUNTED	20 W
E	⊠E	CEILING MOUNTED LED UTILITY FIXTURE	TBD	TBD	CEILING MOUNTED	5 W LED
F	▨F	UNDERCABINET LED STRIP	TBD	TBD	CEILING MOUNTED	2 W LED
H	▨H	CEILING MOUNTED TRACK LIGHT	TBD	TBD	CEILING MOUNTED	5 W LED