

BUILDING RENOVATION - 3340 SIXTH AVENUE



DRAWING INDEX	
G-01	COVER
G-02	CODE NOTES
G-03	EXISTING PHOTOS
EC-01	EXISTING PLANS
EC-02	EXISTING PLANS
D-100	DEMOLITION PLANS
D-101	DEMOLITION PLANS
A-100	BASEMENT PLAN
A-101	PROPOSED GROUND & SECOND FLOOR PLAN
A-102	PROPOSED ROOF PLAN
A-200	ELEVATIONS
A-201	ELEVATIONS
A-600	SCHEDULES
E-100	ELECTRICAL & LIGHTING PLANS
E-101	ELECTRICAL & LIGHTING PLANS

SCOPE OF WORK:
1. RENOVATION TO EXISTING 2 FAMILY BUILDING - NO CHANGE IN USE.
2. MINOR INTERIOR BATHROOM AND KITCHEN MODIFICATIONS PER PLANS. NO CHANGE IN LAYOUT.
3. NO EXTERIOR WORK TO FRONT FACADE, REPAIRS ONLY.
4. MECHANICAL WORK ON SEPARATE PERMIT.

LOCATION	
LOCATION:	3340 SIXTH AVENUE TROY, NY 12180
ZONING DISTRICT:	MU1
TAX MAP:	90.55-3-27

REFERENCED CODES:
2020 RESIDENTIAL BUILDING CODES AS ADOPTED BY NEW YORK STATE, INCLUDING EXISTING BUILDING CODE (EBC), BUILDING CODE (IBC), FIRE CODE (IFC), ENERGY CONSERVATION CODE (IECC), NEW YORK STATE (NYS) 2020, 2016 & 2017 UNIFORM CODE SUPPLEMENTS, AND NYS 2016 ENERGY CODE SUPPLEMENT.

CLASSIFICATION & USE
R-3 : TWO FAMILY RESIDENTIAL

TYPE OF CONSTRUCTION: TYPE III-A, NOT SPRINKLERED

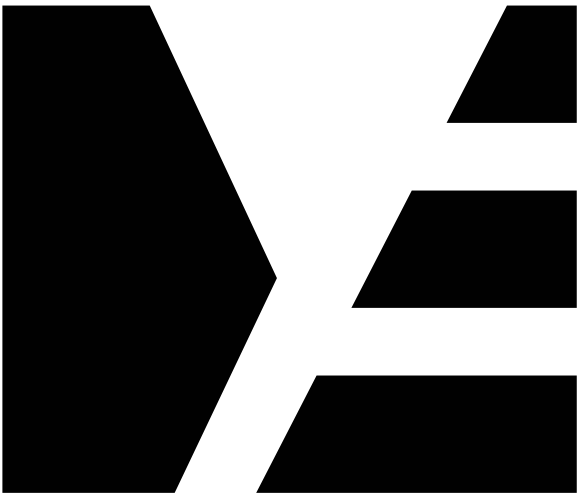
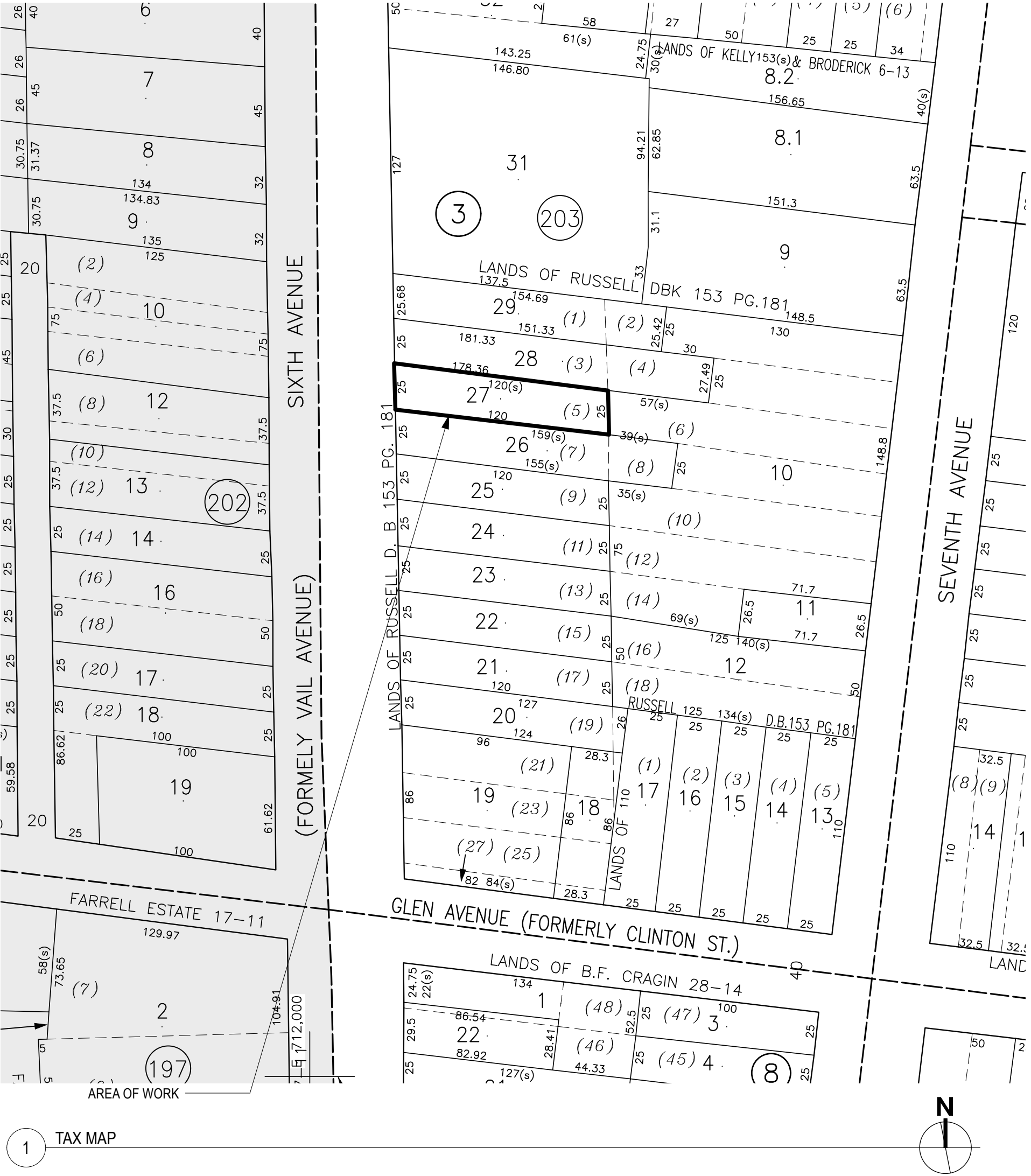
- BUILDING DETAILS:
- OCCUPANCY: SINGLE-OCCUPANCY, GROUP R-3 (TWO-FAMILY RESIDENTIAL)
 - CONSTRUCTION TYPE: TYPE V
 - SPRINKLER SYSTEM: NON-SPRINKLERED
 - NUMBER OF STORIES: 2 STORIES ABOVE GRADE, PLUS BASEMENT
 - ALTERATION LEVEL: LEVEL 1 + REPAIRS

ABBREVIATIONS

ABV	ABOVE	HDWR	HARDWARE
AC	AIR CONDITIONING	HDR	HEADER
ACT	ACTUAL	HW	HOT WATER
ADDN	ADDITION	ID	INTERIOR DIAMETER
ADJ	ADJUSTIBLE	INSUL	INSULATION
AFF	ABOVE FINISHED FLOOR	INT	INTERIOR
ALT	ALTERNATE	JT	JOINT
ALUM	ALUMINUM	KO	KNOCK OUT
APA	AMERICAN PLYWOOD ASSOCIATION	LAM	LAMINATE
ASF	ABOVE SUB-FLOOR	LAV	LAVATORY
AT	ACOUSTIC TILE	LH	LEFT HAND
AVG	AVERAGE	LIF	LOCATE IN FIELD
AWN	AWNING	LOC	LIMIT OF CONTRACT
BD	BOARD	LT	LIGHT
BDRM	BEDROOM	LTG	LIGHTING
BFE	BOTTOM OF FOOTING ELEVATION	LVL	LAMINATED VENEER LUMBER
BLD'G	BUILDING	LIN	LINEN
BLK	BLOCK	MAT'L	MATERIAL
BLK'G	BLOCKING	MAX	MAXIMUM
BM	BEAM	MC	MEDICINE CABINET
B.M.	BENCHMARK	MDO	MEDIUM DENSITY OVERLAY PLYWOOD
BO	BOTTOM OF	MFG	MANUFACTURER
B/S	BOTH SIDES	MIN	MINIMUM
BTWN	BETWEEN	MO	MASONRY OPENING
BTU	BRITISH THERMAL UNITS PER HOUR	MTD	MOUNTED
CAB	CABINET	MTL	METAL
CDX	CD PLYWOOD, EXT GLUE	NIC	NOT IN CONTRACT
CHIM	CHIMNEY	NO	NUMBER
CL	CLOSET	NTS	NOT TO SCALE
CLG	CEILING	OC	ON CENTER
CMU	CONCRETE MASONRY UNIT	OPG	OPENING
COL	COLUMN	PL	PLATE
CONC	CONCRETE	PLAS	PLASTIC
CONST	CONSTRUCTION	PLWD	PLYWOOD
CONT	CONTINUOUS	PT	PRESSURE TREATED
CSMT	CASEMENT	PTD	PAINTED
CT	CERAMIC TILE	PTS	PLUGGED/TOUCH-SANDED PLYWOOD
D	CLOTHES DRYER	QTY	QUANTITY
DIA	DIAMETER	R	RISER
DBL	DOUBLE	RD	ROUND
DH	DOUBLE HUNG	REF	REFRIGERATOR
DIM	DIMENSION	REQ'D	REQUIRED
DN	DOWN	RT	RIGHT HAND
DR	DOOR	RO	ROUGH OPENING
DW	DISHWASHER	RT	RAFTER
DWG	DRAWING	SDL	SIMULATED DIVIDED LIGHT
E	EAST	SHWR	SHOWER
EL	ELEVATION	SHT	SHEET
ELEC	ELECTRIC	SIM	SIMILAR
ENCL	ENCLOSURE	STD	STANDARD
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	STL	STEEL
EXT	EXTERIOR	SUBFL	SUBFLOOR
EXTG	EXISTING	SYM	SYMBOL
FD	FLOOR DRAIN	T	TREAD
FF	FINISH FLOOR	TEL	TELEPHONE
FO	FACE OF	TBA	TO BE ANNOUNCED
FDN	FOUNDATION	TBD	TO BE DETERMINED
FIN	FINISH (ED)	TO	TOP OF
FL	FLOOR (ING)	T.O.FINFL	TOP OF FINISH FLOOR
FT	FOOT/FEET	TOL	TOP OF LEDGE
FTG	FOOTING	TOS	TOP OF SLAB
FOF	FACE OF FRAMING	T.O.SUBFL	TOP OF SUBFLOOR
F.O.FIN	FACE OF FINISH	TOW	TOP OF WALL
FP	FIREPLACE	TYP	TYPICAL
FRMGX	FRAMING	TV	TELEVISION
GC	GENERAL CONTRACTOR	UNO	UNLESS NOTED OTHERWISE
GL	GLASS	VB	VAPOR BARRIER
GWB	GYPSPUM WALLBOARD	VIF	VERIFY IN FIELD
		W.	WITH

GENERAL NOTES

1. Before commencing all work, the contractor shall file all required insurance certificates, obtain all required permits, and pay all fees required by the governing agencies.
2. All work shall conform to the requirements of the Building Code, Fire Department Rules and Regulations, utility company requirements, and the best trade practices. All wood to be used shall be fire-rated.
3. Minor details not usually shown or specified, but required for proper construction of any part of the work shall be included as if they were indicated in the drawings.
4. The contractor shall coordinate all work procedures with the stipulation of the local authorities.
5. The contractor shall be responsible for the protection of all conditions and materials within the proposed construction area. The contractor shall design and install adequate shoring and bracing for all structural and removing tasks. The contractor shall have sole responsibility for any damage or injuries caused by or during the execution of work.
6. The contractor shall lay out his own work, and shall provide all dimensions required for the other trades: plumbing, electrical, etc.
7. Plumbing work shall be performed by the persons licensed in their trades, who shall arrange for and obtain all required permits, inspections, and required sign offs.
8. All new Electrical work, modifications, repairs, etc. shall be performed by persons licensed in their trades, who shall arrange for and obtain all required permits, inspections and required sign offs.
9. The contractor shall do all cutting, patching, repairing as required to perform all the work indicated on the drawings, and all other work that may be required to complete the job.
10. The contractor is to post all required permits on site prior to any work performed.
11. The contractor shall have all materials proposed for demolition be tested for possible asbestos and/or lead content before they are disturbed. Asbestos and lead containing materials can only be disturbed, removed or abated by properly trained and certified personnel as per applicable codes, rules and regulations.



ME | STUDIO
ARCHITECTURE . DESIGN . DEVELOPMENT

6 ST PAULS PL
TROY, NY 12180
838.386.1563



COPYRIGHT 2025 GRACIELA MONROY ARCHITECT PLLC, MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

PROJECT

BUILDING ALTERATION
3340 6th AVENUE
TROY, NY 12180

ISSUED FOR

DATE: 05/20/25
REVISION:

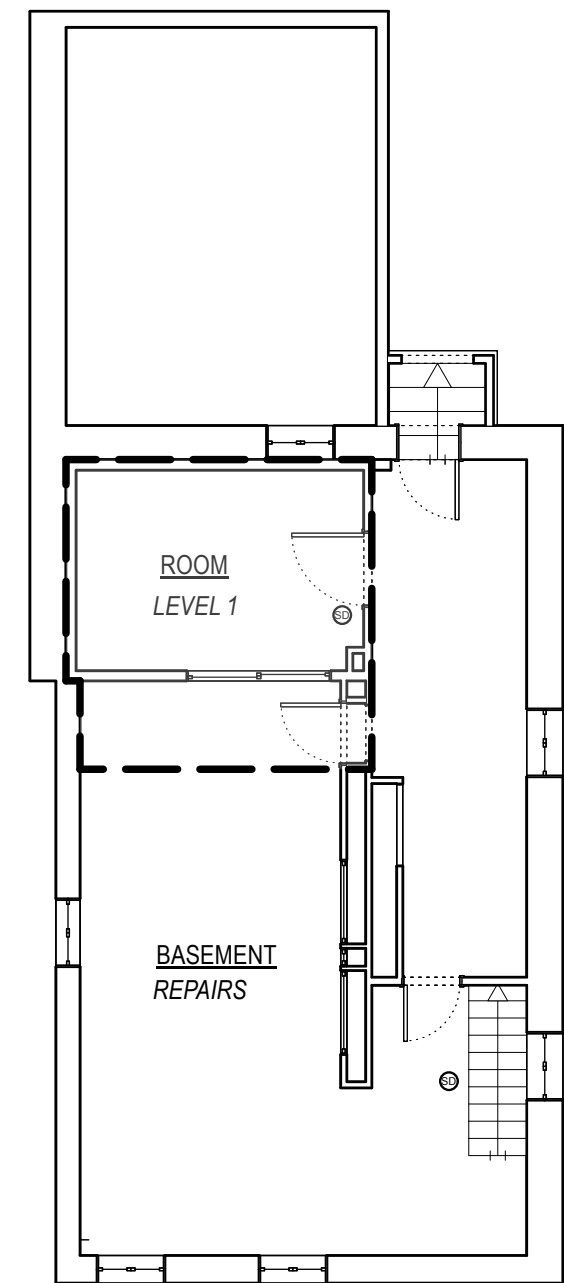
DRAWING TITLE

COVER

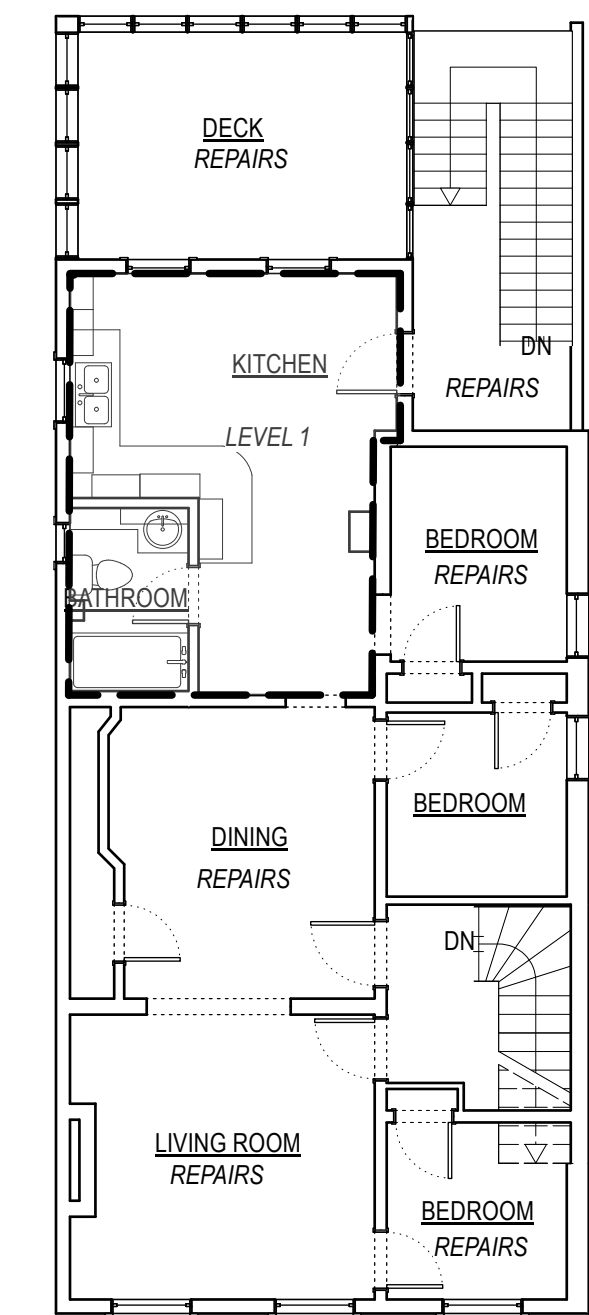
DRAWING NUMBER

G-01

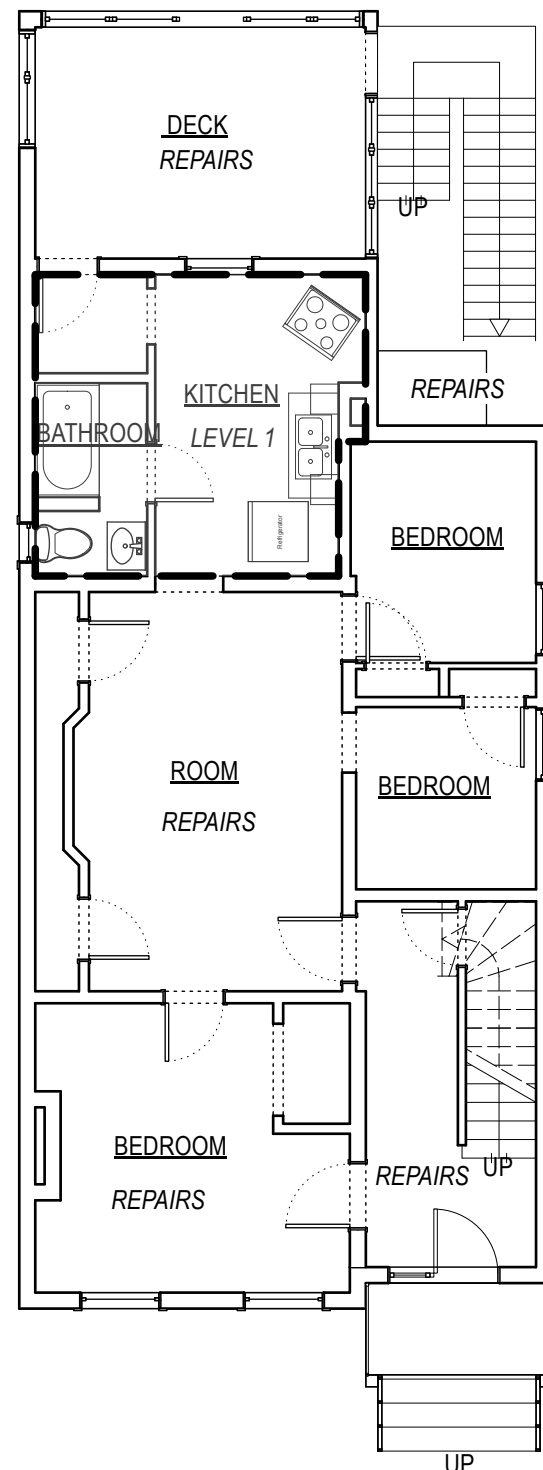
SCOPE OF WORK AREAS



1 BASEMENT EXISTING FLOOR PLAN
Scale: 1/8" = 1'-0"



3 SECOND FLOOR PLAN - EXISTING
Scale: 1/8" = 1'-0"



2 FIRST FLOOR - EXISTING PLAN
Scale: 1/8" = 1'-0"

CODE NOTES

NEW YORK STATE RESIDENTIAL CODE 2020
APPENDIX J FOR EXISTING BUILDINGS

NEW YORK SECTION AJ401 REPAIRS -- FOR REPAIR AREAS OUTSIDE OF KITCHEN AND BATHROOM LEVEL 1 ALTERATION WORK
AJ401.2 Permitted Materials

Except as otherwise required herein, work shall be done using materials permitted by the applicable code for new construction or using like materials such that no hazard to life, health or property is created.

AJ401.2.1 Hazardous Materials

Hazardous materials that are no longer permitted, such as asbestos and lead-based paint, not be used.

AJ401.2.2 Glazing in Hazardous Locations

Replacement glazing in hazardous locations shall comply with the safety glazing requirements of Section R308 as applicable.

Exceptions:

- 1 Glass block walls, louvered windows, and jalousies repaired with like materials.
- 2 Replacement glazing in historic buildings.

AJ401.2.3 Reroofing

Existing roof assemblies undergoing repair shall comply with the applicable requirements of Section AJ501.4.4 of this appendix.

ALL PROPOSED REPAIRS TO COMPLY WITH THE NYS RESIDENTIAL CODE APPENDIX J FOR EXISTING BUILDINGS. NO HAZARDOUS MATERIALS TO BE USED AND SAFETY GLAZING REQUIREMENTS TO BE MET.

AJ401.3 Plumbing

Repairs to existing plumbing systems shall be permitted in the same manner and arrangement as in the existing system, provided that such repairs or replacement are not hazardous and are approved.

The following plumbing materials and supplies shall not be used:

- 1 All-purpose solvent cement, unless listed for the specific application;
- 2 Flexible traps and tailpieces, unless listed for the specific application; and
- 3 Solder having more than 0.2-percent lead in the repair of potable water systems.

AJ401.4 Water Closet Replacement

When any water closet is replaced, the replacement water closet shall comply with Section P2903.2

PLUMBING WORK IN KITCHEN AND BATHROOMS TO BE PERFORMED BY A LICENSED PLUMBER AND TO COMPLY WITH ALTERATION LEVEL 1 REQUIREMENTS.

AJ401.5 Electrical

Existing electrical wiring and equipment undergoing repair shall be allowed to be repaired or replaced with like material.

Exceptions:

- 1 Replacement of electrical receptacles shall comply with the applicable requirements of the NFPA 70 or Chapter 39 of this code.
- 2 Plug fuses of the Edison-base type shall be used for replacements only where there is no evidence of over fusing or tampering and shall comply with requirements of Chapter 37 of this code applying for conductor sizing and overcurrent protection code.
- 3 For replacement of nongrounding-type receptacles with grounding-type receptacles and for branch circuits that do not have an equipment grounding conductor in the branch circuitry, the grounding conductor of a grounding-type receptacle outlet shall be permitted to be grounded to any accessible point on the grounding electrode system, or to any accessible point on the grounding electrode conductor as allowed and described in Part VIII—Electrical of this code.
- 4 Frames of electric ranges, wall-mounted ovens, counter-mounted cooking units, clothes dryers, and outlet or junction boxes that are part of the existing branch circuit for these appliances shall be permitted to be grounded to the grounded circuit conductor in accordance with Part VIII—Electrical of this code.

ALL EXISTING ELECTRICAL IN REPAIR AREAS IS TO REMAIN. GC TO TEST AND INSPECT ALL CIRCUITS AND ANY REPAIRS TO BE PERFORMED BY A LICENSED ELECTRICIAN AS NECESSARY TO COMPLY WITH THIS CODE. NEW ELECTRICAL WORK IN KITCHEN AND BATHROOMS TO COMPLY WITH ALTERATION LEVEL 1 REQUIREMENTS.

AJ401.6 Mechanical

Repairs to existing mechanical systems shall be permitted in the same manner and arrangement as in the existing system, provided that such repairs or replacement are not hazardous and are approved.

NEW MECHANICAL SYSTEM ON SEPARATE PERMIT.

AJ401.7 Flood Hazard Areas

In flood hazard areas, repairs that constitute substantial improvement shall require that the building comply with Section R322 of this code.

N/A.

AJ401.8 Fire and Life Safety Protection

Repairs shall be done in a manner that maintains the level of fire protection provided.

AJ401.8.1 Smoke Alarms

When repairs requiring a permit occur, the individual dwelling unit shall be provided with smoke alarms located as required for new dwellings; the smoke alarms shall be interconnected in accordance with Section R314.4.

Exceptions:

- 1 Repairs to the exterior surfaces of dwellings are exempt from the requirements of this section.
- 2 In other than bed and breakfast dwellings, smoke alarms in existing areas shall not be required to be interconnected and hard wired where interior wall or ceiling finishes are not removed to expose the structure.

AJ401.8.2 Power Source

Smoke alarms shall be permitted to be battery operated when installed in buildings without commercial power or an on-site electrical power system, or in buildings where existing interior wall or ceiling finishes are not removed to expose the structure.

AJ401.8.3 Interconnection

Smoke alarms shall not be required to be interconnected where battery-operated alarms are permitted.

AJ401.8.4 Carbon Monoxide Alarms

When repairs of fuel-fired appliances and equipment, solid-fuel burning appliances and equipment, or fireplaces and chimneys occur, the individual dwelling unit shall be provided with carbon monoxide alarms as required for new dwellings.

Exception: In other than bed and breakfast dwellings, carbon monoxide alarms shall be permitted to be battery operated when installed in buildings without commercial power or an on-site electrical power system, or in buildings where existing interior wall or ceiling finishes are not removed to expose the structure. Carbon monoxide alarms shall not be required to be interconnected where battery operated alarms are permitted.

PROPOSED WORK TO MAINTAIN THE EXISTING LEVEL OF FIRE PROTECTION. CEILINGS AND WALL FINISHES TO REMAIN IN ALL REPAIR AREAS. BATTERY POWERED SMOKE AND CARBON MONOXIDE ALARMS TO BE PROVIDED PER PLANS, AND NOT REQUIRED TO BE INTERCONNECTED.

AJ401.9 Structural

Repairs of structural elements shall comply with this section.

AJ401.9.1 Reduction of Strength

Repairs shall not reduce the structural strength or stability of the building, structure or any individual member thereof.

Exception: Such reduction shall be allowed, provided the capacity is not reduced to below the levels required by this code.

AJ401.9.2 Damaged Buildings

Damaged buildings shall be repaired in accordance with this section.

AJ401.9.2.1 New Structural Frame Members

New structural frame members used in the repair of damaged buildings, including anchorage and connections, shall comply with this code.

AJ401.9.2.2 Substantial Structural Damage

Buildings that have sustained substantial structural damage shall comply with this section.

AJ401.9.2.2.1 Engineering Evaluation and Analysis

An engineering evaluation and analysis that establishes the structural adequacy of the damaged building shall be prepared by a registered design professional and submitted to the building official. The evaluation and analysis may assume that all damaged structural elements and systems have their original strength and stiffness.

AJ401.9.2.2.2 Extent of Repair

The evaluation and analysis shall demonstrate that the building, once repaired, complies with the applicable wind and seismic provisions of this code.

AJ401.9.2.3 Below Substantial Structural Damage

Repairs to buildings damaged to a level below the substantial structural damage level as defined in Section AJ201 shall be allowed to be made with the materials, methods and strengths in existence prior to the damage unless such existing conditions are dangerous as defined in Section AJ201. New structural frame members as defined in Section AJ201 shall comply with Section AJ401.9.2.1.

AJ401.9.3 Other Uncovered Structural Elements

Where in the course of conducting repairs other uncovered structural elements are found to be unsound or otherwise structurally deficient, such elements shall be made to conform to the requirements of Section AJ401.9.2.2.

NO STRUCTURAL WORK PROPOSED.

NEW YORK SECTION AJ501 ALTERATIONS - LEVEL 1 -- FOR KITCHEN AND BATHROOM LEVEL 1 ALTERATION WORK

AJ501.2 Conformance

An existing building or portion thereof shall not be altered such that the building becomes less safe than its existing condition.

Exception: Where the current level of safety or sanitation is proposed to be reduced, the portion altered shall conform to the requirements of this code.

THE PROPOSED WORK DOES NOT ALTER THE BUILDING SUCH THAT IT BECOMES LESS SAFE THAN EXISTING CONDITIONS.

AJ501.3 Flood Hazard Areas

In flood hazard areas, alterations that constitute substantial improvement shall require that the building comply with Section R322 of this code.

N/A

AJ501.4 Building Elements and Materials

Building elements and materials used for Alterations—Level 1 shall comply with this section.

AJ501.4.1 Interior Finishes

All newly installed interior finishes shall comply with the flame spread and smoke developed index requirements of Chapter 3 of this code.

AJ501.4.2 Materials and Methods

All new work shall comply with materials and methods requirements of this code.

AJ501.4.3 Replacement Door and Window Dimensions

Minor reductions in the clear opening dimensions of replacement doors and windows that result from the use of different materials shall be allowed.

AJ501.4.3.1 Replacement Windows

The replacement of emergency escape and rescue opening windows in conformance with the code in effect at the time of construction shall not require compliance with Section R310 of this code.

AJ501.4.4 Reroofing

Where alteration work includes recovering or replacing an existing roof covering, the provisions of this section shall apply. Reroofing shall be in accordance with Section R908 of this code.

ALL NEW MATERIALS WITHIN THE ALTERATION LEVEL 1 AREAS IN KITCHENS AND BATHROOMS TO COMPLY WITH THE FLAME SPREAD AND SMOKE DEVELOPED INDEX REQUIREMENTS OF CHAPTER 3. REPLACED DOORS AND WINDOWS SHALL NOT SIGNIFICANTLY REDUCE THE CLEAR OPENING DIMENSIONS. NO ROOFING WORK PROPOSED.

AJ501.5 Means of Egress

Means of egress for buildings undergoing alteration shall comply with the requirements of Section 702 of the Property Maintenance Code of New York State.

NYS PROPERTY MAINTENANCE CODE

Section 702 Means of Egress

702.1 General

A safe, continuous and unobstructed path of travel shall be provided from any point in a building or structure to the public way. Means of egress shall comply with the Fire Code of New York State.

702.2 Aisles

The required width of aisles in accordance with the Fire Code of New York State shall be unobstructed.

702.3 Locked Doors

All means of egress doors shall be readily operable from the side from which egress is to be made without the need for keys, special knowledge or effort, except where the door hardware conforms to that permitted by the Fire Code of New York State.

702.4 Emergency Escape Openings

Required emergency escape openings shall be maintained in accordance with the code in effect at the time of construction, and the following. Required emergency escape and rescue openings shall be operational from the inside of the room without the use of keys or tools. Bars, grilles, grates or similar devices are permitted to be placed over emergency escape and rescue openings, provided the minimum net clear opening size complies with the code that was in effect at the time of construction and such devices shall be releasable or removable from the inside without the use of a key, tool or force greater than that which is required for normal operation of the escape and rescue opening.

EXISTING MEANS OF EGRESS TO REMAIN AND TO COMPLY WITH THE REQUIREMENTS OF SECTION 702 OF THE PROPERTY MAINTENANCE CODE OF 2020 PROVISIONS ABOVE.

AJ501.6 Fire and Life-Safety Protection

Alterations shall be done in a manner that maintains the level of fire protection provided and shall comply with this section.

AJ501.6.1 Smoke Alarms

When interior alterations occur in existing dwellings, the individual dwelling unit shall be provided with smoke alarms located as required for new dwellings; the smoke alarms shall be interconnected in accordance with Section R314.4.

Exception: In other than bed and breakfast dwellings, smoke alarms in existing areas shall not be required to be interconnected and hard wired where interior wall or ceiling finishes are not removed to expose the structure.

AJ501.6.1.1 Power Source

Smoke alarms shall be permitted to be battery operated when installed in buildings without commercial power or an on-site electrical power system, or in buildings where existing interior wall or ceiling finishes are not removed to expose the structure.

AJ501.6.1.2 Interconnection

Smoke alarms shall not be required to be interconnected where battery-operated alarms are permitted.

PROPOSED WORK TO MAINTAIN THE EXISTING LEVEL OF FIRE PROTECTION. CEILINGS AND WALL FINISHES TO REMAIN IN ALL REPAIR AREAS. BATTERY POWERED SMOKE AND CARBON MONOXIDE ALARMS TO BE PROVIDED PER PLANS, AND NOT REQUIRED TO BE INTERCONNECTED.

AJ501.7 Structural

Where alteration work includes replacement of equipment that is supported by the building, the structural provisions of this section shall apply.

AJ501.7.1 Design Criteria

Existing structural components supporting alteration work shall comply with this section.

AJ501.7.1.1 Replacement of Equipment

Where replacement of equipment results in additional dead loads, structural components supporting such equipment shall comply with the load requirements of this code.

Exception: Buildings constructed in accordance with this code and where the additional dead load from the equipment is not increased by more than 5 percent.

AJ501.7.2 Reroofing Structural and Construction Loads

The structural roof components shall be capable of supporting the roof covering system and the material and equipment loads that will be encountered during installation of the roof covering system.

NO STRUCTURAL OR ROOFING WORK PROPOSED.

AJ501.8 Mechanical

Alterations to any mechanical system shall conform to the requirements of Chapter 12 of this code for a new mechanical system without requiring the existing mechanical system to comply with all of the requirements of this code.

NEW MECHANICAL WORK ON A SEPARATE PERMIT.

AJ501.9 Plumbing

Alterations to any plumbing system shall conform to the requirements for a new plumbing system without requiring the existing plumbing system to comply with all the requirements of this code.

AJ501.9.1 Materials

The following plumbing materials and supplies shall not be used:

- 1 All-purpose solvent cement, unless listed for the specific application;
- 2 Flexible traps and tailpieces, unless listed for the specific application; and
- 3 Solder having more than 0.2-percent lead in the repair of potable water systems.

AJ501.9.2 Water Closet Replacement

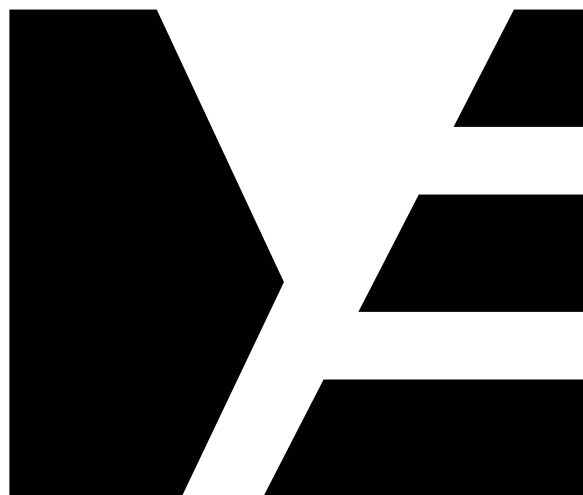
When any water closet is replaced, the replacement water closet shall comply with Section P2903.2.

PLUMBING WORK IN KITCHEN AND BATHROOMS TO BE PERFORMED BY A LICENSED PLUMBER AND TO COMPLY WITH ALTERATION LEVEL 1 REQUIREMENTS AND WATER CLOSET REPLACEMENTS TO COMPLY WITH P2903.2 FOR MAXIMUM FLOW AND WATER CONSUMPTION REQUIREMENTS.

AJ501.10 Electrical

Any alteration to an existing electrical system shall be made in conformity with the provisions of Chapter E34 through Chapter E43 of this code.

NEW ELECTRICAL WORK IN KITCHEN AND BATHROOMS TO BE PERFORMED BY A LICENSED ELECTRICIAN AND TO COMPLY WITH THE PROVISIONS WITHIN CH 34 - CH 43 OF THE NYS RESIDENTIAL CODE 2020.



ME | STUDIO
ARCHITECTURE . DESIGN . DEVELOPMENT

6 ST PAULS PL
TROY, NY 12180
838.386.1563



COPYRIGHT 2025 GRACIELA MONROY ARCHITECT PLLC, MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

PROJECT

BUILDING ALTERATION

3340 6th AVENUE
TROY, NY 12180

ISSUED FOR

DATE: 05/20/25

REVISION:

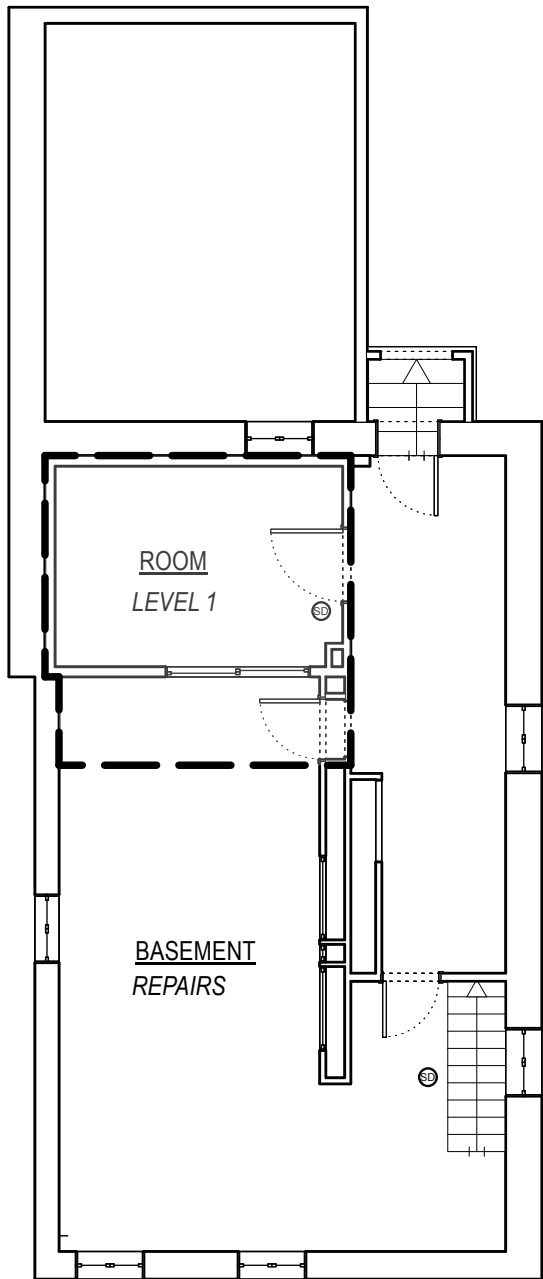
DRAWING TITLE

CODE NOTES

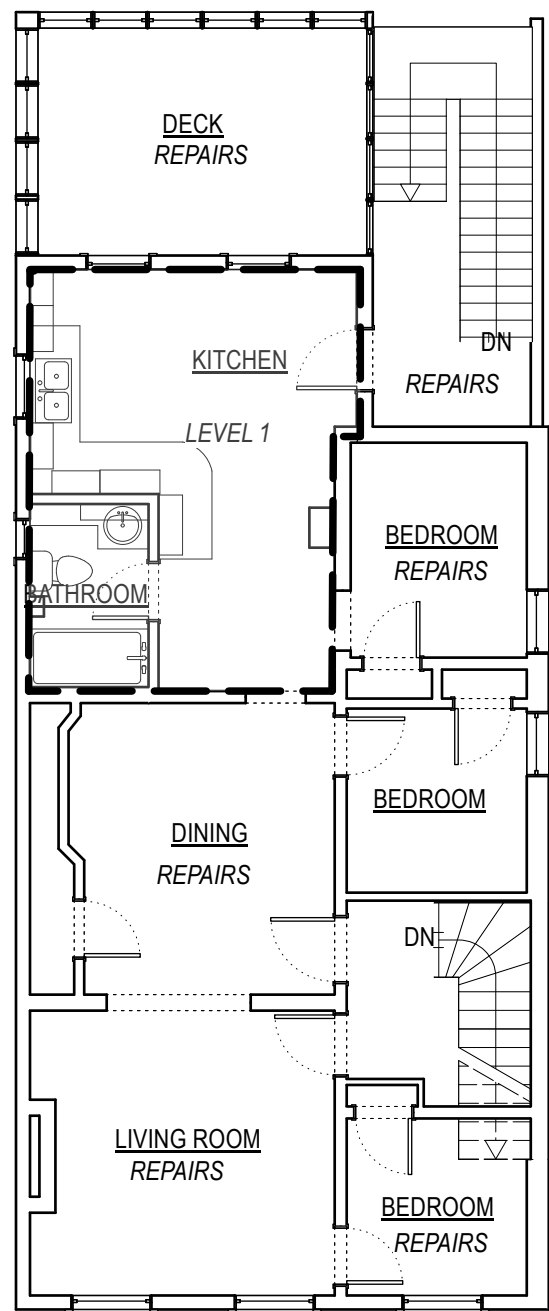
DRAWING NUMBER

G-02

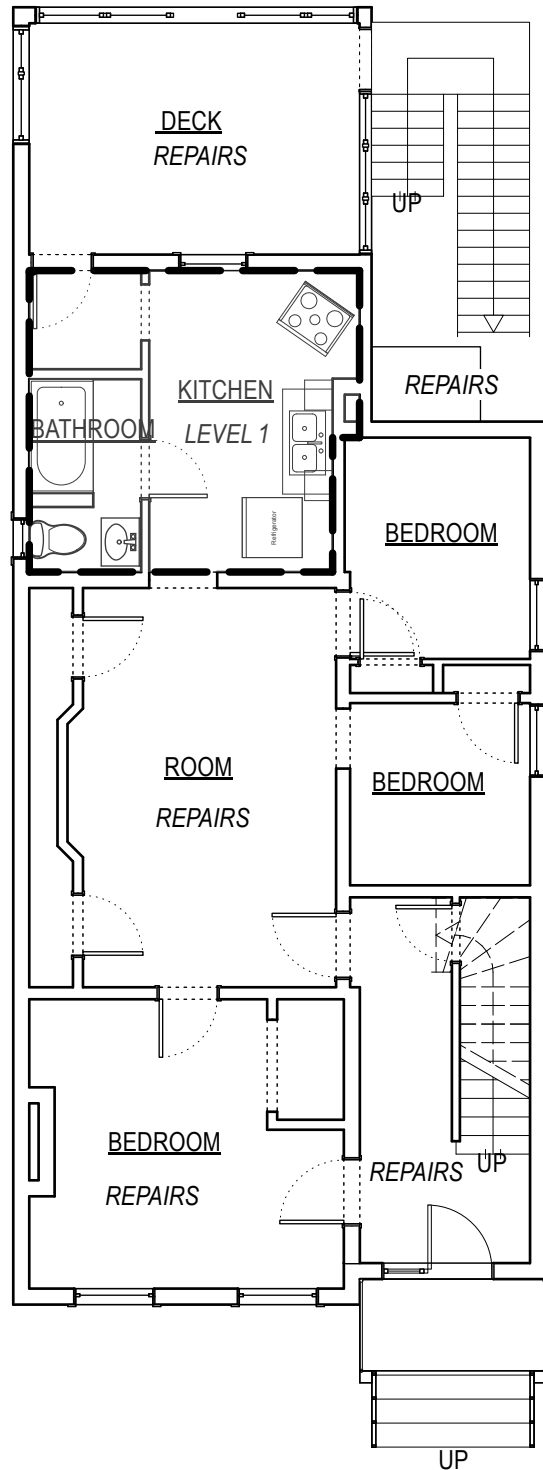
SCOPE OF WORK AREAS



1 BASEMENT EXISTING FLOOR PLAN
Scale: 1/8" = 1'-0"



3 SECOND FLOOR PLAN - EXISTING
Scale: 1/8" = 1'-0"



2 FIRST FLOOR - EXISTING PLAN
Scale: 1/8" = 1'-0"

CODE NOTES

NEW YORK STATE RESIDENTIAL CODE 2020
APPENDIX J FOR EXISTING BUILDINGS

NEW YORK SECTION AJ401 REPAIRS -- FOR REPAIR AREAS OUTSIDE OF KITCHEN AND BATHROOM LEVEL 1 ALTERATION WORK
AJ401.2 Permitted Materials

Except as otherwise required herein, work shall be done using materials permitted by the applicable code for new construction or using like materials such that no hazard to life, health or property is created.

AJ401.2.1 Hazardous Materials

Hazardous materials that are no longer permitted, such as asbestos and lead-based paint, not be used.

AJ401.2.2 Glazing in Hazardous Locations

Replacement glazing in hazardous locations shall comply with the safety glazing requirements of Section R308 as applicable.

Exceptions:

- 1 Glass block walls, louvered windows, and jalousies repaired with like materials.
- 2 Replacement glazing in historic buildings.

AJ401.2.3 Reroofing

Existing roof assemblies undergoing repair shall comply with the applicable requirements of Section AJ501.4.4 of this appendix.

ALL PROPOSED REPAIRS TO COMPLY WITH THE NYS RESIDENTIAL CODE APPENDIX J FOR EXISTING BUILDINGS. NO HAZARDOUS MATERIALS TO BE USED AND SAFETY GLAZING REQUIREMENTS TO BE MET.

AJ401.3 Plumbing

Repairs to existing plumbing systems shall be permitted in the same manner and arrangement as in the existing system, provided that such repairs or replacement are not hazardous and are approved.

The following plumbing materials and supplies shall not be used:

- 1 All-purpose solvent cement, unless listed for the specific application;
- 2 Flexible traps and tailpieces, unless listed for the specific application; and
- 3 Solder having more than 0.2-percent lead in the repair of potable water systems.

AJ401.4 Water Closet Replacement

When any water closet is replaced, the replacement water closet shall comply with Section P2903.2

PLUMBING WORK IN KITCHEN AND BATHROOMS TO BE PERFORMED BY A LICENSED PLUMBER AND TO COMPLY WITH ALTERATION LEVEL 1 REQUIREMENTS.

AJ401.5 Electrical

Existing electrical wiring and equipment undergoing repair shall be allowed to be repaired or replaced with like material.

Exceptions:

- 1 Replacement of electrical receptacles shall comply with the applicable requirements of the NFPA 70 or Chapter 39 of this code.
- 2 Plug fuses of the Edison-base type shall be used for replacements only where there is no evidence of over fusing or tampering and shall comply with requirements of Chapter 37 of this code applying for conductor sizing and overcurrent protection code.
- 3 For replacement of nongrounding-type receptacles with grounding-type receptacles and for branch circuits that do not have an equipment grounding conductor in the branch circuitry, the grounding conductor of a grounding-type receptacle outlet shall be permitted to be grounded to any accessible point on the grounding electrode system, or to any accessible point on the grounding electrode conductor as allowed and described in Part VIII—Electrical of this code.
- 4 Frames of electric ranges, wall-mounted ovens, counter-mounted cooking units, clothes dryers, and outlet or junction boxes that are part of the existing branch circuit for these appliances shall be permitted to be grounded to the grounded circuit conductor in accordance with Part VIII—Electrical of this code.

ALL EXISTING ELECTRICAL IN REPAIR AREAS IS TO REMAIN. GC TO TEST AND INSPECT ALL CIRCUITS AND ANY REPAIRS TO BE PERFORMED BY A LICENSED ELECTRICIAN AS NECESSARY TO COMPLY WITH THIS CODE. NEW ELECTRICAL WORK IN KITCHEN AND BATHROOMS TO COMPLY WITH ALTERATION LEVEL 1 REQUIREMENTS.

AJ401.6 Mechanical

Repairs to existing mechanical systems shall be permitted in the same manner and arrangement as in the existing system, provided that such repairs or replacement are not hazardous and are approved.

NEW MECHANICAL SYSTEM ON SEPARATE PERMIT.

AJ401.7 Flood Hazard Areas

In flood hazard areas, repairs that constitute substantial improvement shall require that the building comply with Section R322 of this code.

N/A.

AJ401.8 Fire and Life Safety Protection

Repairs shall be done in a manner that maintains the level of fire protection provided.

AJ401.8.1 Smoke Alarms

When repairs requiring a permit occur, the individual dwelling unit shall be provided with smoke alarms located as required for new dwellings; the smoke alarms shall be interconnected in accordance with Section R314.4.

Exceptions:

- 1 Repairs to the exterior surfaces of dwellings are exempt from the requirements of this section.
- 2 In other than bed and breakfast dwellings, smoke alarms in existing areas shall not be required to be interconnected and hard wired where interior wall or ceiling finishes are not removed to expose the structure.

AJ401.8.2 Power Source

Smoke alarms shall be permitted to be battery operated when installed in buildings without commercial power or an on-site electrical power system, or in buildings where existing interior wall or ceiling finishes are not removed to expose the structure.

AJ401.8.3 Interconnection

Smoke alarms shall not be required to be interconnected where battery-operated alarms are permitted.

AJ401.8.4 Carbon Monoxide Alarms

When repairs of fuel-fired appliances and equipment, solid-fuel burning appliances and equipment, or fireplaces and chimneys occur, the individual dwelling unit shall be provided with carbon monoxide alarms as required for new dwellings.

Exception: In other than bed and breakfast dwellings, carbon monoxide alarms shall be permitted to be battery operated when installed in buildings without commercial power or an on-site electrical power system, or in buildings where existing interior wall or ceiling finishes are not removed to expose the structure. Carbon monoxide alarms shall not be required to be interconnected where battery operated alarms are permitted.

PROPOSED WORK TO MAINTAIN THE EXISTING LEVEL OF FIRE PROTECTION. CEILINGS AND WALL FINISHES TO REMAIN IN ALL REPAIR AREAS. BATTERY POWERED SMOKE AND CARBON MONOXIDE ALARMS TO BE PROVIDED PER PLANS, AND NOT REQUIRED TO BE INTERCONNECTED.

AJ401.9 Structural

Repairs of structural elements shall comply with this section.

AJ401.9.1 Reduction of Strength

Repairs shall not reduce the structural strength or stability of the building, structure or any individual member thereof.

Exception: Such reduction shall be allowed, provided the capacity is not reduced to below the levels required by this code.

AJ401.9.2 Damaged Buildings

Damaged buildings shall be repaired in accordance with this section.

AJ401.9.2.1 New Structural Frame Members

New structural frame members used in the repair of damaged buildings, including anchorage and connections, shall comply with this code.

AJ401.9.2.2 Substantial Structural Damage

Buildings that have sustained substantial structural damage shall comply with this section.

AJ401.9.2.2.1 Engineering Evaluation and Analysis

An engineering evaluation and analysis that establishes the structural adequacy of the damaged building shall be prepared by a registered design professional and submitted to the building official. The evaluation and analysis may assume that all damaged structural elements and systems have their original strength and stiffness.

AJ401.9.2.2.2 Extent of Repair

The evaluation and analysis shall demonstrate that the building, once repaired, complies with the applicable wind and seismic provisions of this code.

AJ401.9.2.3 Below Substantial Structural Damage

Repairs to buildings damaged to a level below the substantial structural damage level as defined in Section AJ201 shall be allowed to be made with the materials, methods and strengths in existence prior to the damage unless such existing conditions are dangerous as defined in Section AJ201. New structural frame members as defined in Section AJ201 shall comply with Section AJ401.9.2.1.

AJ401.9.3 Other Uncovered Structural Elements

Where in the course of conducting repairs other uncovered structural elements are found to be unsound or otherwise structurally deficient, such elements shall be made to conform to the requirements of Section AJ401.9.2.2.

NO STRUCTURAL WORK PROPOSED.

NEW YORK SECTION AJ501 ALTERATIONS - LEVEL 1 -- FOR KITCHEN AND BATHROOM LEVEL 1 ALTERATION WORK

AJ501.2 Conformance

An existing building or portion thereof shall not be altered such that the building becomes less safe than its existing condition.

Exception: Where the current level of safety or sanitation is proposed to be reduced, the portion altered shall conform to the requirements of this code.

THE PROPOSED WORK DOES NOT ALTER THE BUILDING SUCH THAT IT BECOMES LESS SAFE THAN EXISTING CONDITIONS.

AJ501.3 Flood Hazard Areas

In flood hazard areas, alterations that constitute substantial improvement shall require that the building comply with Section R322 of this code.

N/A.

AJ501.4 Building Elements and Materials

Building elements and materials used for Alterations—Level 1 shall comply with this section.

AJ501.4.1 Interior Finishes

All newly installed interior finishes shall comply with the flame spread and smoke developed index requirements of Chapter 3 of this code.

AJ501.4.2 Materials and Methods

All new work shall comply with materials and methods requirements of this code.

AJ501.4.3 Replacement Door and Window Dimensions

Minor reductions in the clear opening dimensions of replacement doors and windows that result from the use of different materials shall be allowed.

AJ501.4.3.1 Replacement Windows

The replacement of emergency escape and rescue opening windows in conformance with the code in effect at the time of construction shall not require compliance with Section R310 of this code.

AJ501.4.4 Reroofing

Where alteration work includes recovering or replacing an existing roof covering, the provisions of this section shall apply. Reroofing shall be in accordance with Section R908 of this code.

ALL NEW MATERIALS WITHIN THE ALTERATION LEVEL 1 AREAS IN KITCHENS AND BATHROOMS TO COMPLY WITH THE FLAME SPREAD AND SMOKE DEVELOPED INDEX REQUIREMENTS OF CHAPTER 3. REPLACED DOORS AND WINDOWS SHALL NOT SIGNIFICANTLY REDUCE THE CLEAR OPENING DIMENSIONS. NO ROOFING WORK PROPOSED.

AJ501.5 Means of Egress

Means of egress for buildings undergoing alteration shall comply with the requirements of Section 702 of the Property Maintenance Code of New York State.

NYS PROPERTY MAINTENANCE CODE
Section 702 Means of Egress

702.1 General

A safe, continuous and unobstructed path of travel shall be provided from any point in a building or structure to the public way. Means of egress shall comply with the Fire Code of New York State.

702.2 Aisles

The required width of aisles in accordance with the Fire Code of New York State shall be unobstructed.

702.3 Locked Doors

All means of egress doors shall be readily operable from the side from which egress is to be made without the need for keys, special knowledge or effort, except where the door hardware conforms to that permitted by the Fire Code of New York State.

702.4 Emergency Escape Openings

Required emergency escape openings shall be maintained in accordance with the code in effect at the time of construction, and the following. Required emergency escape and rescue openings shall be operational from the inside of the room without the use of keys or tools. Bars, grilles, grates or similar devices are permitted to be placed over emergency escape and rescue openings, provided the minimum net clear opening size complies with the code that was in effect at the time of construction and such devices shall be releasable or removable from the inside without the use of a key, tool or force greater than that which is required for normal operation of the escape and rescue opening.

EXISTING MEANS OF EGRESS TO REMAIN AND TO COMPLY WITH THE REQUIREMENTS OF SECTION 702 OF THE PROPERTY MAINTENANCE CODE OF 2020 PROVISIONS ABOVE.

AJ501.6 Fire and Life-Safety Protection

Alterations shall be done in a manner that maintains the level of fire protection provided and shall comply with this section.

AJ501.6.1 Smoke Alarms

When interior alterations occur in existing dwellings, the individual dwelling unit shall be provided with smoke alarms located as required for new dwellings; the smoke alarms shall be interconnected in accordance with Section R314.4.

Exception: In other than bed and breakfast dwellings, smoke alarms in existing areas shall not be required to be interconnected and hard wired where interior wall or ceiling finishes are not removed to expose the structure.

AJ501.6.1.1 Power Source

Smoke alarms shall be permitted to be battery operated when installed in buildings without commercial power or an on-site electrical power system, or in buildings where existing interior wall or ceiling finishes are not removed to expose the structure.

AJ501.6.1.2 Interconnection

Smoke alarms shall not be required to be interconnected where battery-operated alarms are permitted.

PROPOSED WORK TO MAINTAIN THE EXISTING LEVEL OF FIRE PROTECTION. CEILINGS AND WALL FINISHES TO REMAIN IN ALL REPAIR AREAS. BATTERY POWERED SMOKE AND CARBON MONOXIDE ALARMS TO BE PROVIDED PER PLANS, AND NOT REQUIRED TO BE INTERCONNECTED.

AJ501.7 Structural

Where alteration work includes replacement of equipment that is supported by the building, the structural provisions of this section shall apply.

AJ501.7.1 Design Criteria

Existing structural components supporting alteration work shall comply with this section.

AJ501.7.1.1 Replacement of Equipment

Where replacement of equipment results in additional dead loads, structural components supporting such equipment shall comply with the load requirements of this code.

Exception: Buildings constructed in accordance with this code and where the additional dead load from the equipment is not increased by more than 5 percent.

AJ501.7.2 Reroofing Structural and Construction Loads

The structural roof components shall be capable of supporting the roof covering system and the material and equipment loads that will be encountered during installation of the roof covering system.

NO STRUCTURAL OR ROOFING WORK PROPOSED.

AJ501.8 Mechanical

Alterations to any mechanical system shall conform to the requirements of Chapter 12 of this code for a new mechanical system without requiring the existing mechanical system to comply with all of the requirements of this code.

NEW MECHANICAL WORK ON A SEPARATE PERMIT.

AJ501.9 Plumbing

Alterations to any plumbing system shall conform to the requirements for a new plumbing system without requiring the existing plumbing system to comply with all the requirements of this code.

AJ501.9.1 Materials

The following plumbing materials and supplies shall not be used:

- 1 All-purpose solvent cement, unless listed for the specific application;
- 2 Flexible traps and tailpieces, unless listed for the specific application; and
- 3 Solder having more than 0.2-percent lead in the repair of potable water systems.

AJ501.9.2 Water Closet Replacement

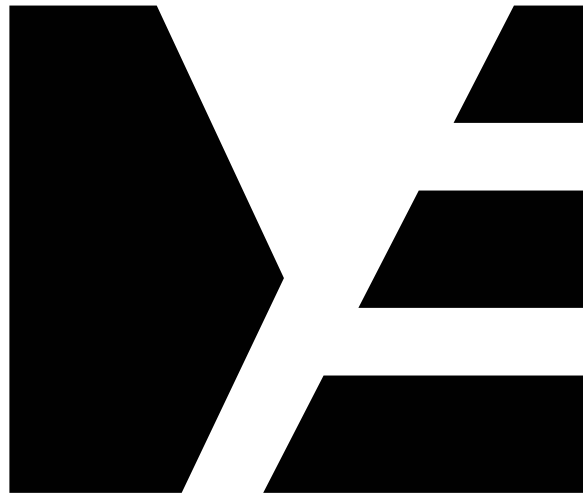
When any water closet is replaced, the replacement water closet shall comply with Section P2903.2.

PLUMBING WORK IN KITCHEN AND BATHROOMS TO BE PERFORMED BY A LICENSED PLUMBER AND TO COMPLY WITH ALTERATION LEVEL 1 REQUIREMENTS AND WATER CLOSET REPLACEMENTS TO COMPLY WITH P2903.2 FOR MAXIMUM FLOW AND WATER CONSUMPTION REQUIREMENTS.

AJ501.10 Electrical

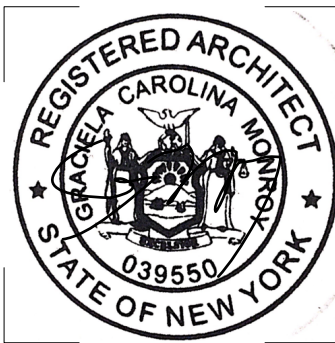
Any alteration to an existing electrical system shall be made in conformity with the provisions of Chapter E34 through Chapter E43 of this code.

NEW ELECTRICAL WORK IN KITCHEN AND BATHROOMS TO BE PERFORMED BY A LICENSED ELECTRICIAN AND TO COMPLY WITH THE PROVISIONS WITHIN CH 34 - CH 43 OF THE NYS RESIDENTIAL CODE 2020.



ME | STUDIO
ARCHITECTURE . DESIGN . DEVELOPMENT

6 ST PAULS PL
TROY, NY 12180
838.386.1563



COPYRIGHT 2025 GRACIELA MONROY ARCHITECT PLLC, MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

PROJECT

BUILDING ALTERATION

3340 6th AVENUE
TROY, NY 12180

ISSUED FOR

DATE: 05/20/25

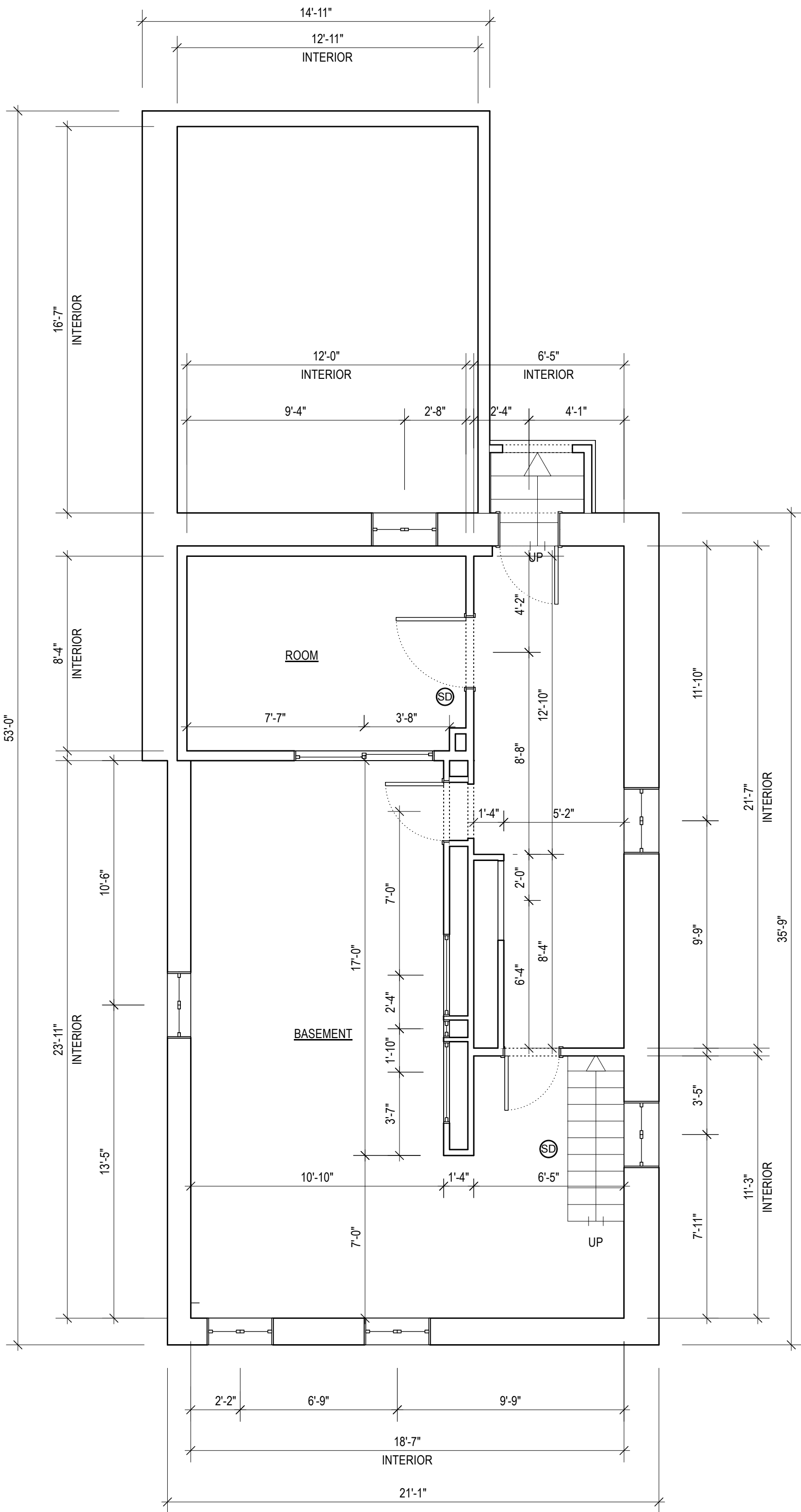
REVISION:

DRAWING TITLE

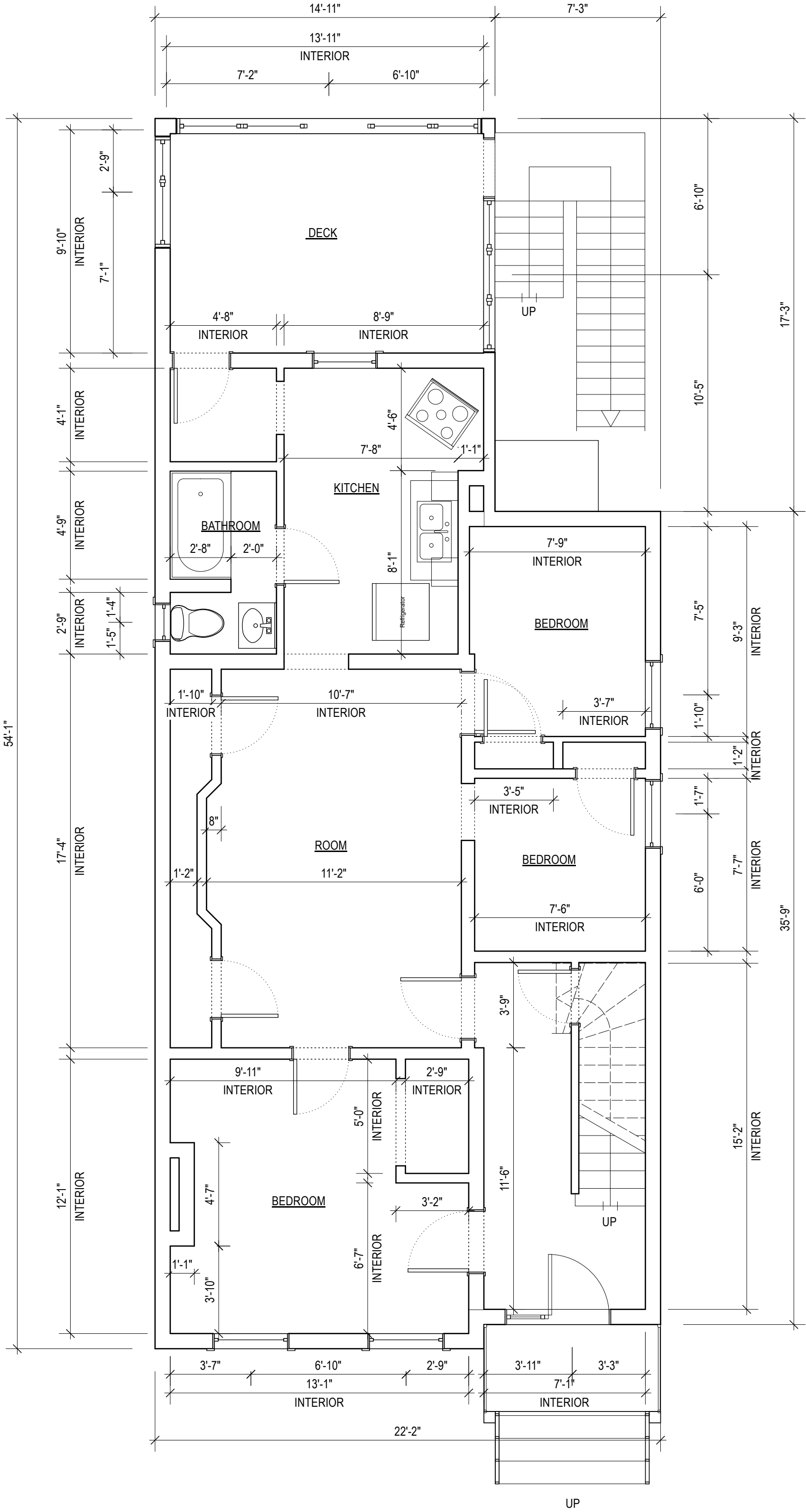
CODE NOTES

DRAWING NUMBER

G-02



1 BASEMENT EXISTING FLOOR PLAN
Scale: 1/4" = 1'-0"



2 FIRST FLOOR - EXISTING PLAN
Scale: 1/4" = 1'-0"



ME | STUDIO
ARCHITECTURE . DESIGN . DEVELOPMENT

6 ST PAULS PL
TROY, NY 12180
838.386.1563



COPYRIGHT 2025 GRACIELA MONROY ARCHITECT PLLC, MAY
NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

PROJECT

BUILDING ALTERATION
3340 6th AVENUE
TROY, NY 12180

ISSUED FOR

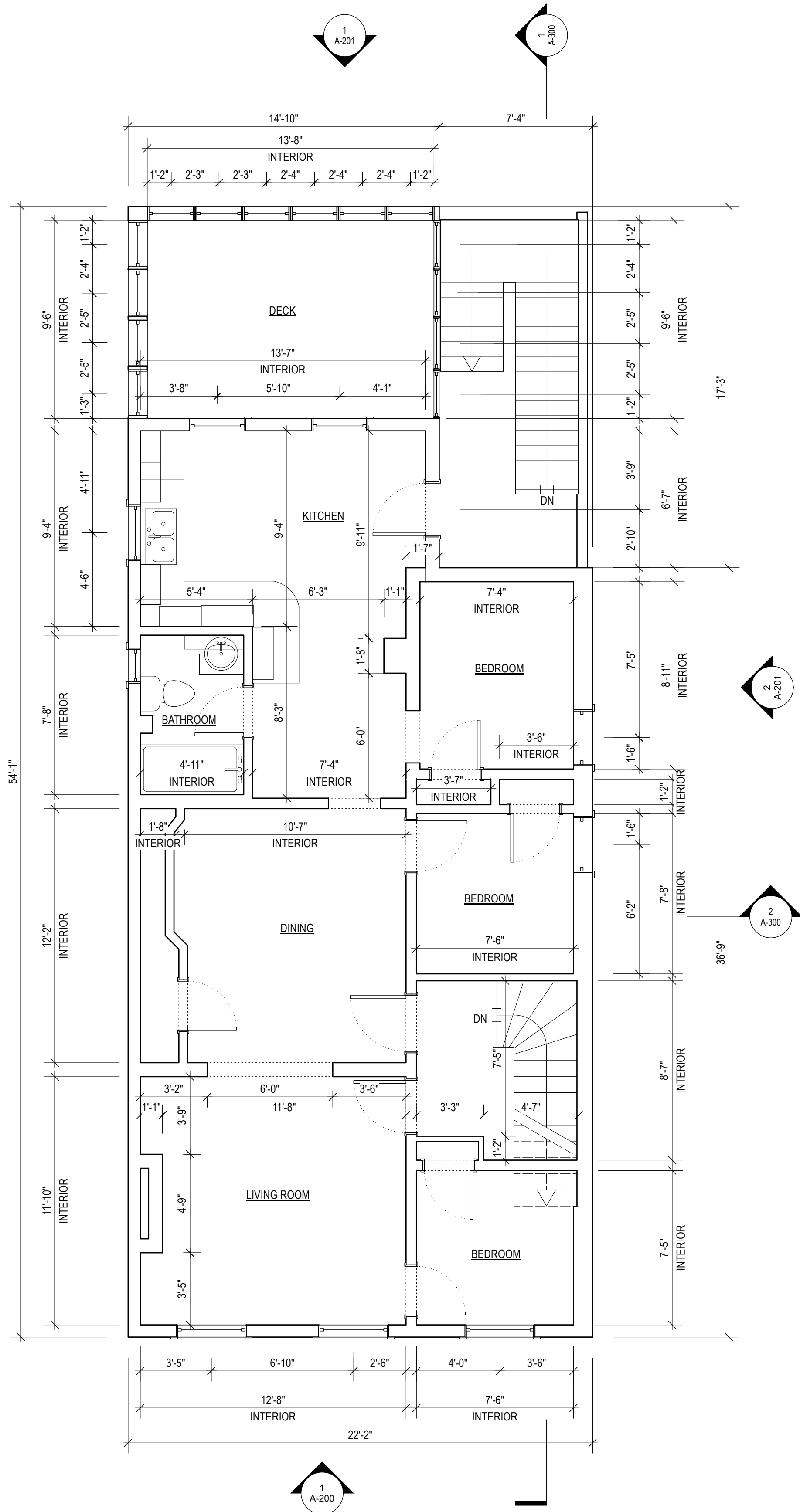
DATE: 05/20/25
REVISION:

DRAWING TITLE

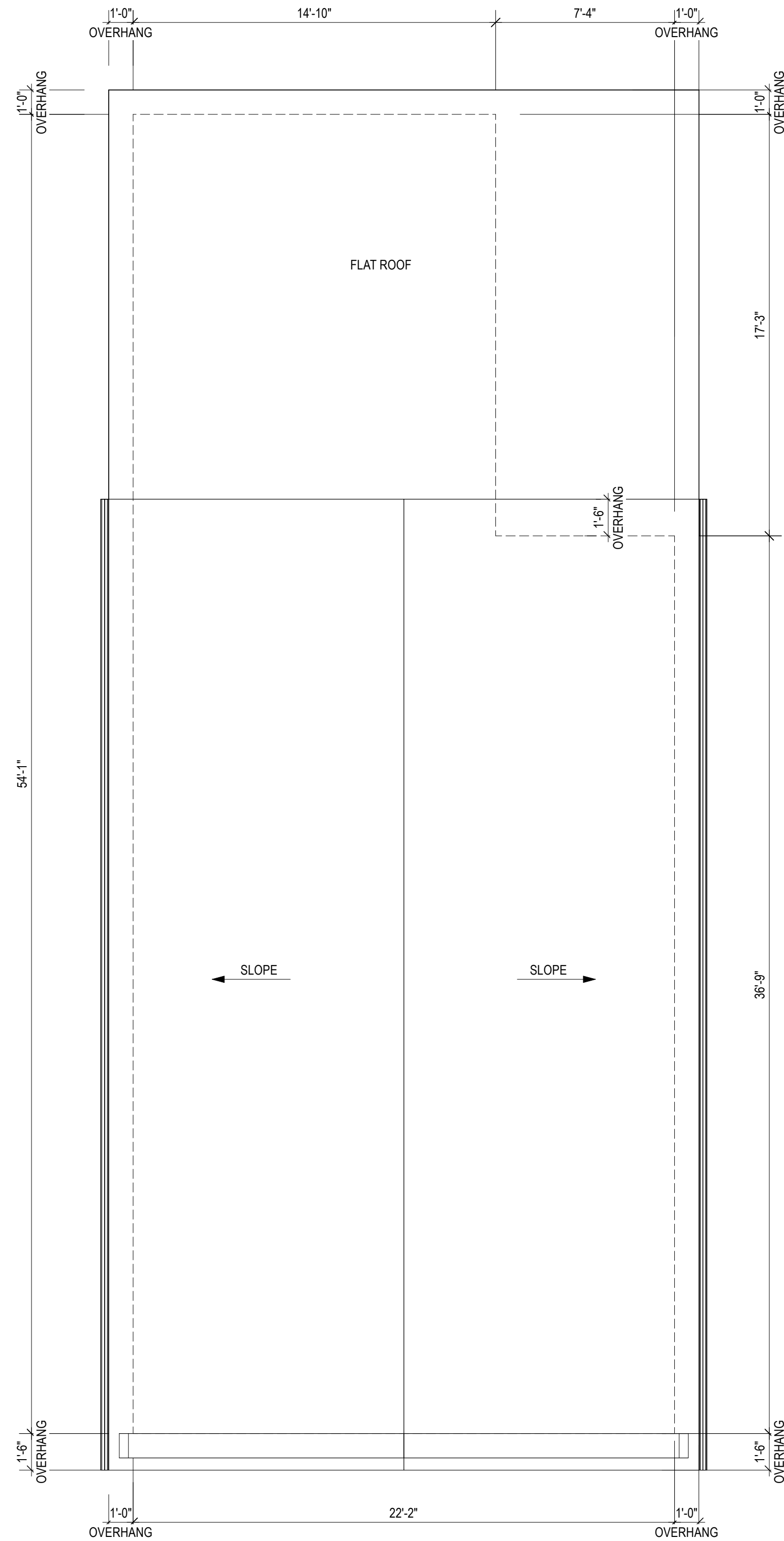
**EXISTING BASEMENT &
FIRST FLOOR PLANS**

DRAWING NUMBER

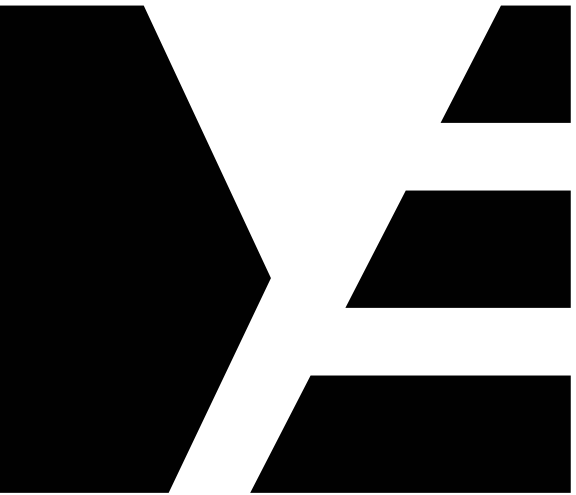
EC-1



1 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



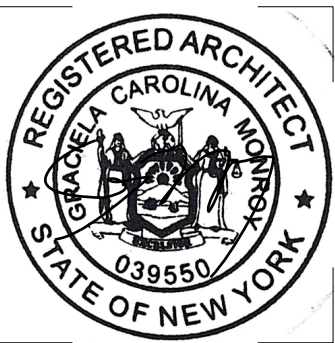
2 ROOF EXISTING PLAN
Scale: 1/4" = 1'-0"



ME | STUDIO

ARCHITECTURE . DESIGN . DEVELOPMENT

6 ST PAULS PL
TROY, NY 12180
838.386.1563



COPYRIGHT 2025 GRACIELA MONROY ARCHITECT PLLC, MAY
NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

PROJECT

BUILDING ALTERATION

3340 6th AVENUE
TROY, NY 12180

ISSUED FOR

DATE: 05/20/25

REVISION:

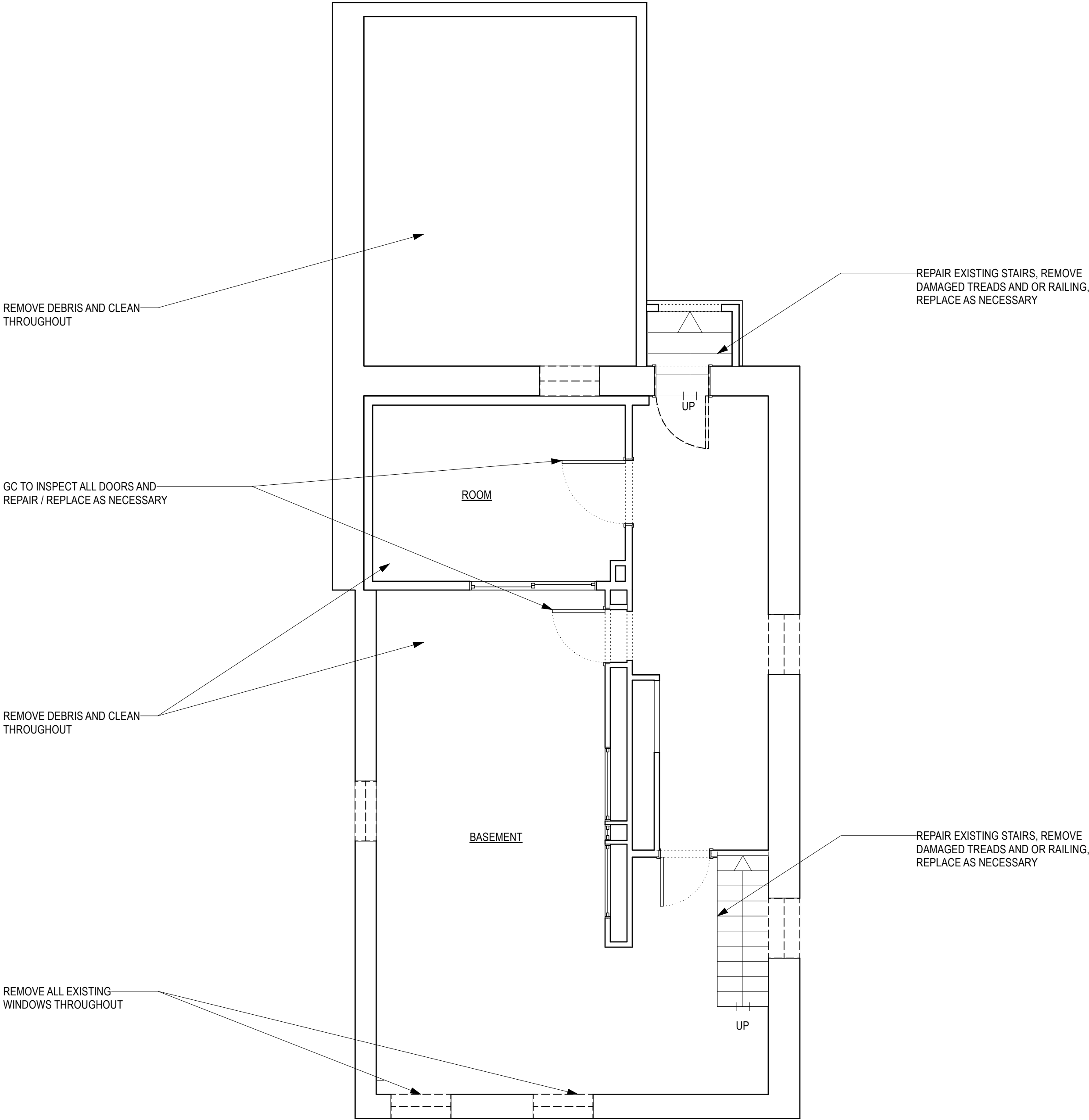
DRAWING TITLE

EXISTING SECOND &
ROOF FLOOR PLANS

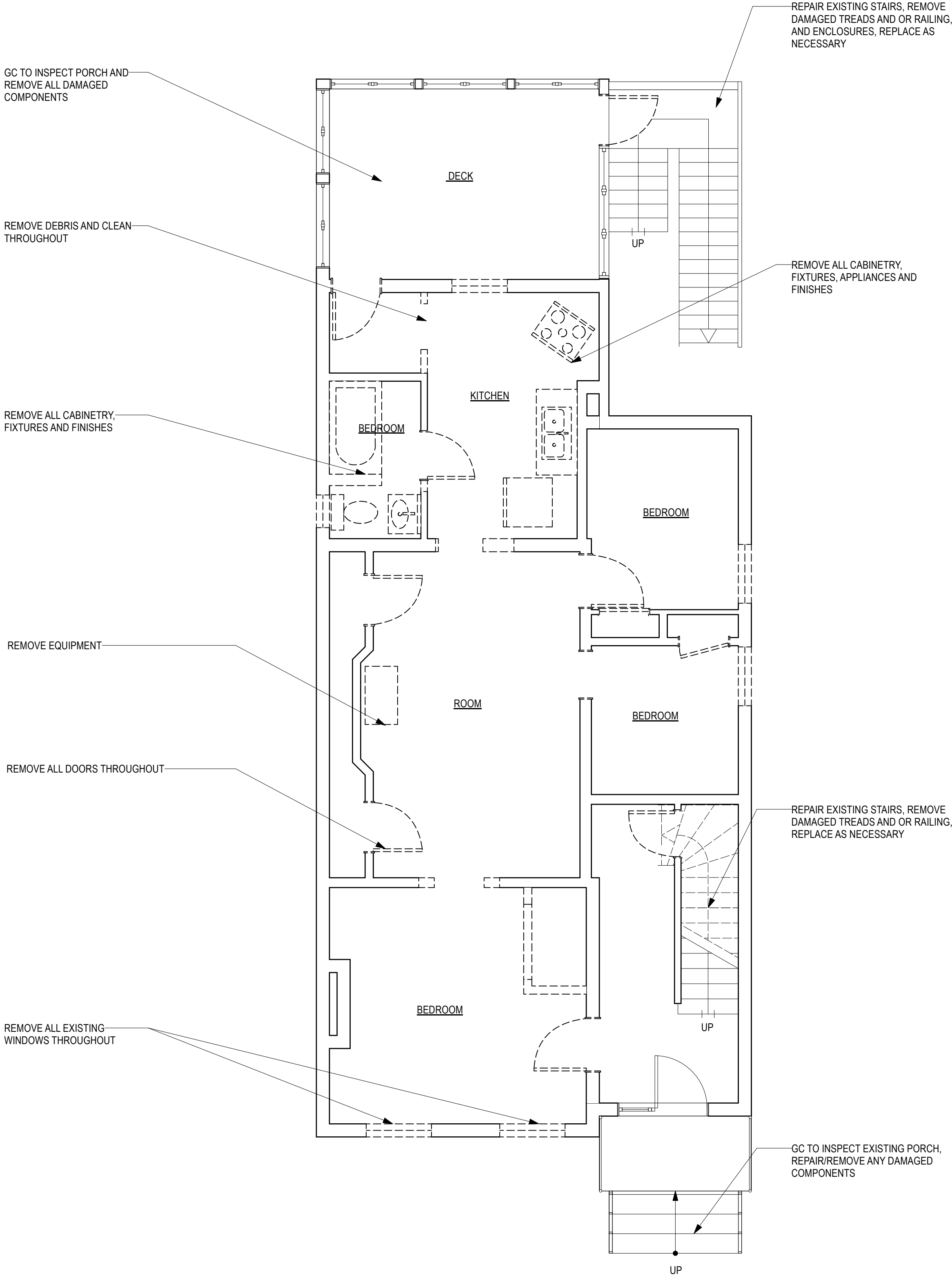
DRAWING NUMBER

EC-2

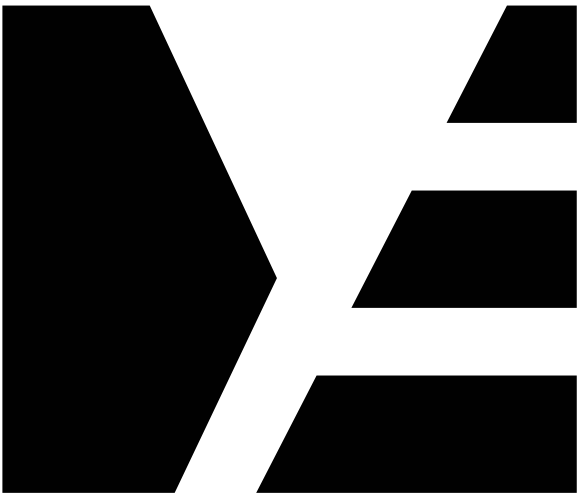
DEMOLITION NOTES
1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK.
2. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
3. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
4. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
5. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
6. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
7. REMOVE ALL WINDOWS AND FRAMES THROUGHOUT, TO BE REPLACED AT EXISTING LOCATIONS.



1 BASEMENT DEMOLITION PLAN
Scale: 1/4" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
Scale: 1/4" = 1'-0"



ME | STUDIO
ARCHITECTURE . DESIGN . DEVELOPMENT

6 ST PAULS PL
TROY, NY 12180
838.386.1563



COPYRIGHT 2025 GRACIELA MONROY ARCHITECT PLLC, MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

PROJECT

BUILDING ALTERATION
3340 6th AVENUE
TROY, NY 12180

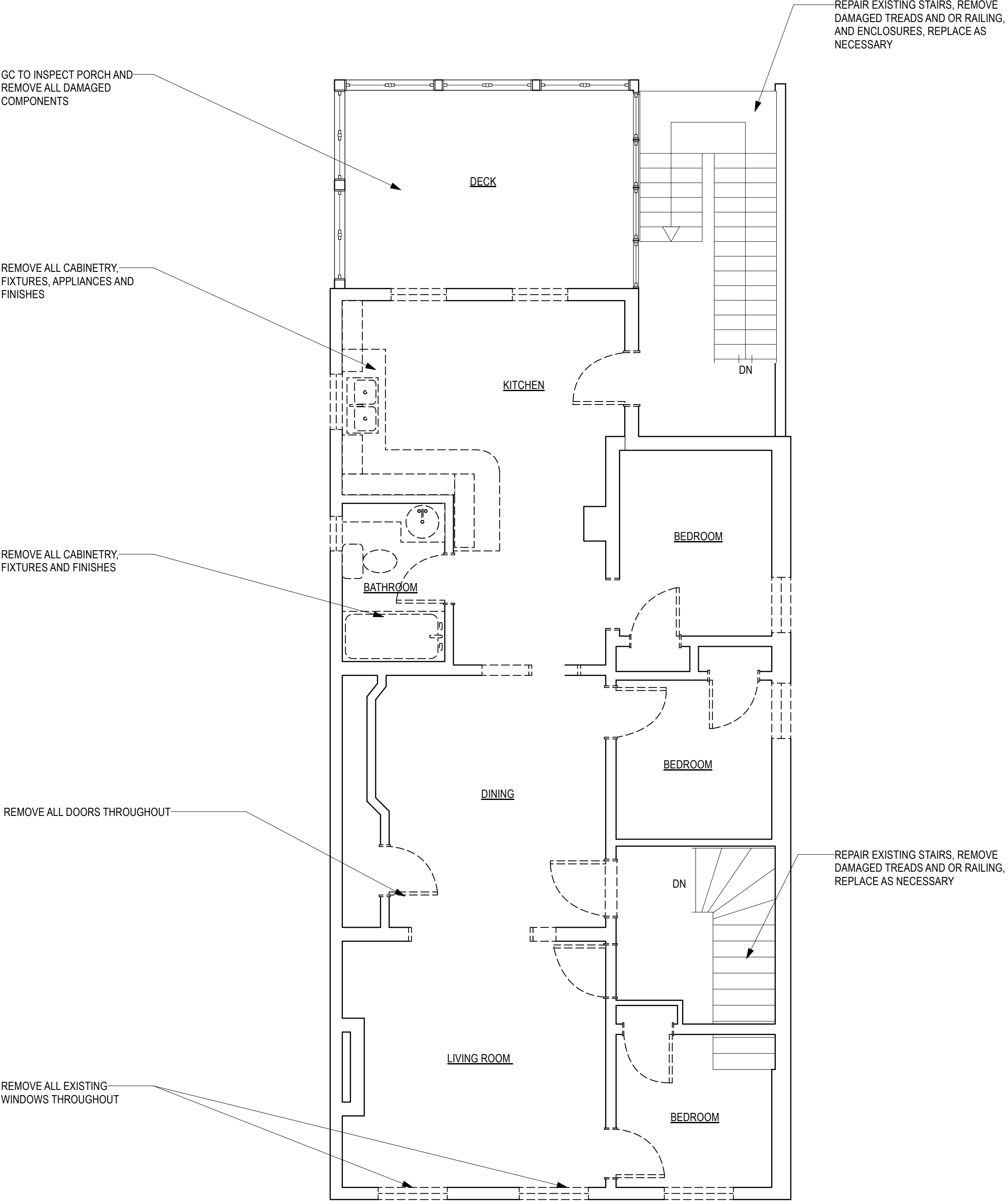
ISSUED FOR

DATE: 05/20/25
REVISION:

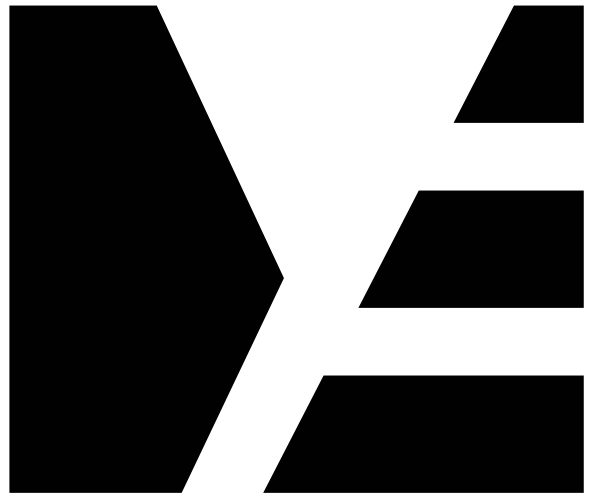
DRAWING TITLE
BASEMENT & FIRST FLOOR DEMOLITION PLANS

DRAWING NUMBER

D-100

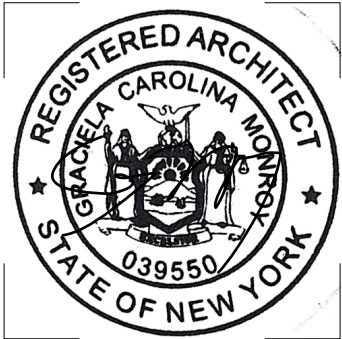


1 SECOND FLOOR DEMOLITION PLAN
Scale: 1/4" = 1'-0"



ME | STUDIO
ARCHITECTURE . DESIGN . DEVELOPMENT

6 ST PAULS PL
TROY, NY 12180
838.386.1563



COPYRIGHT 2025 GRACIELA MONROY ARCHITECT PLLC, MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

PROJECT

BUILDING ALTERATION
3340 6th AVENUE
TROY, NY 12180

ISSUED FOR

DATE: 05/20/25
REVISION:

DRAWING TITLE

**SECOND FLOOR
DEMOLITION PLAN**

DRAWING NUMBER

D-101



6 ST PAULS PL
TROY, NY 12180
838.386.1563



BUILDING ALTERATION

3340 6th AVENUE
TROY, NY 12180

ISSUED FOR

DATE: 05/20/25

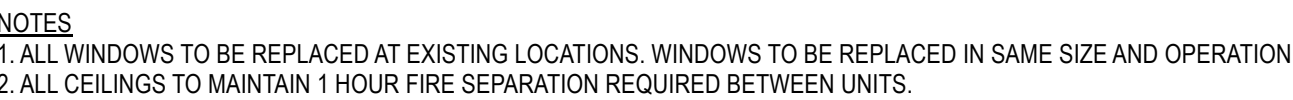
REVISION:

DRAWING TITLE

BASEMENT FLOOR PLAN- PROPOSED

DRAWING NUMBER

A-100



LEGEND

EXISTING CONDITIONS TO REMAIN

PROPOSED WALLS

SD HARD-WIRED SMOKE DETECTOR
WITH BATTERY BACK-UP

CM CARBON MONOXIDE DETECTOR

1 BASEMENT FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"



ME | STUDIO
ARCHITECTURE . DESIGN . DEVELOPMENT

6 ST PAULS PL
TROY, NY 12180
838.386.1563



COPYRIGHT 2025 GRACIELA MONROY ARCHITECT PLLC, MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

PROJECT

BUILDING ALTERATION
3340 6th AVENUE
TROY, NY 12180

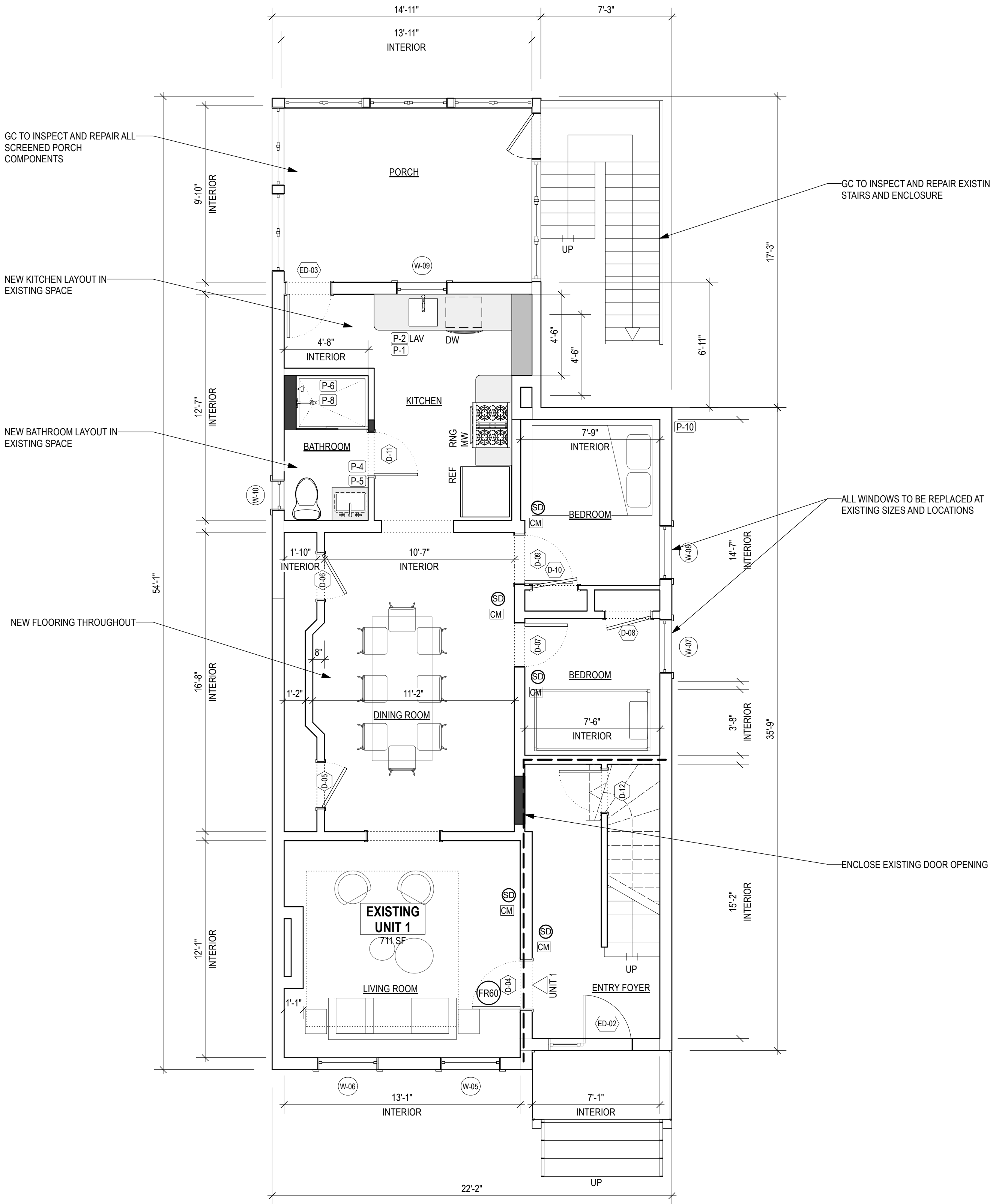
ISSUED FOR

DATE: 05/20/25
REVISION:

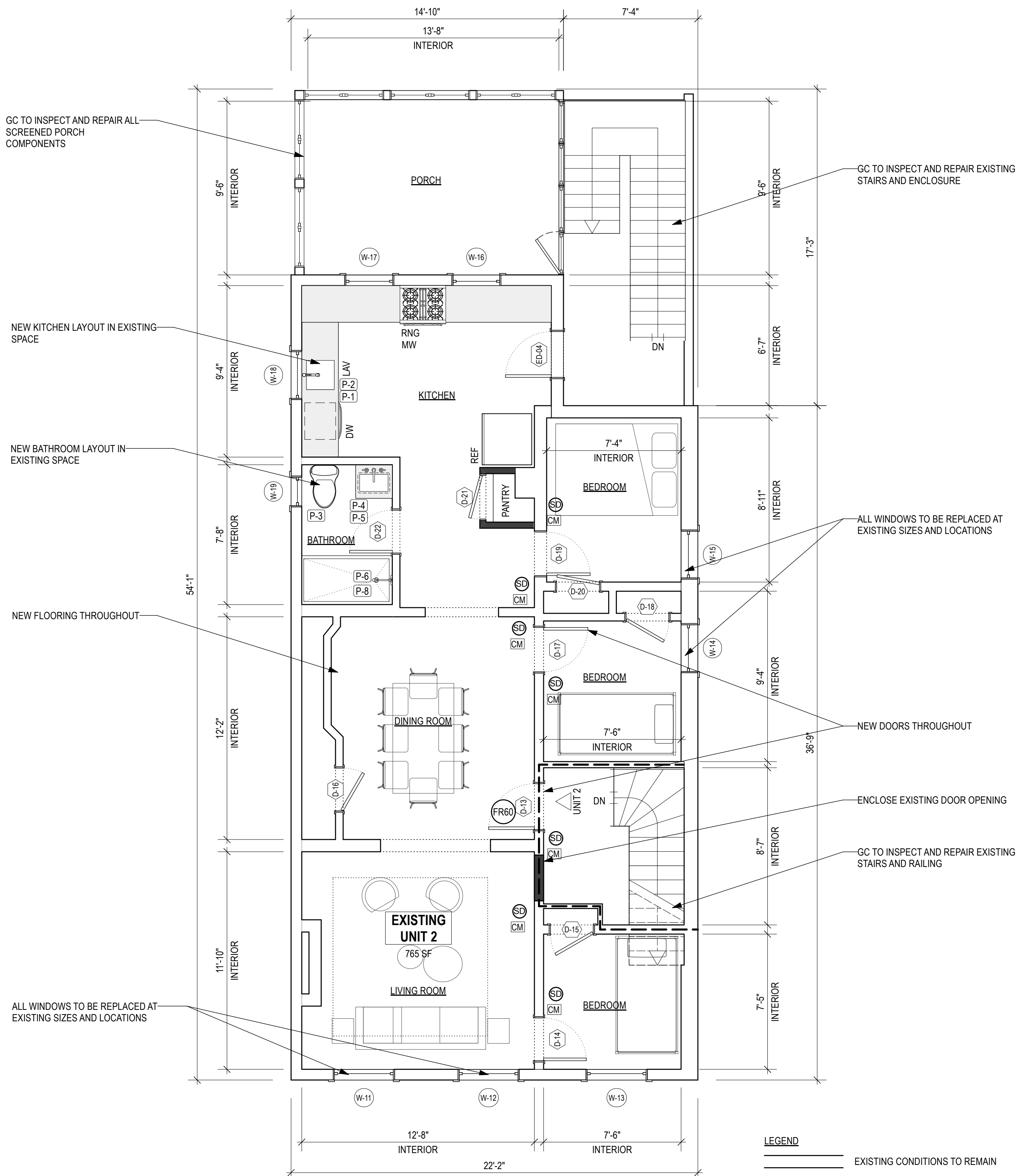
DRAWING TITLE
GROUND AND SECOND FLOOR PLAN - PROPOSED

DRAWING NUMBER

A-101



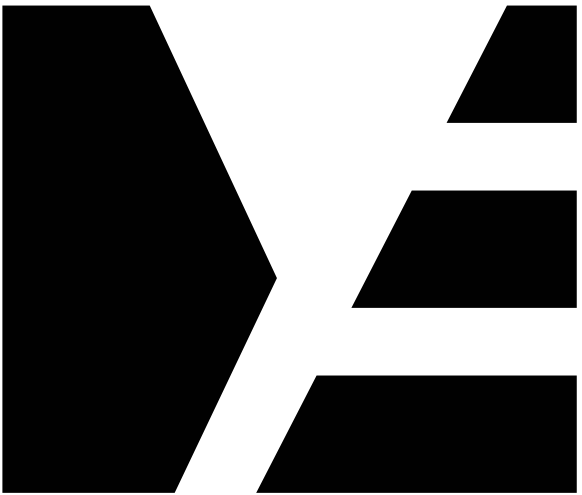
1 FIRST FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN - PROPOSED
Scale: 1/4" = 1'-0"

- LEGEND**
- EXISTING CONDITIONS TO REMAIN
 - PROPOSED WALLS
 - 1 HR RATED PARTITION
 - 60 MIN RATED DOOR W/CLOSER
 - HARD-WIRED SMOKE DETECTOR, WITH BATTERY BACK-UP
 - CARBON MONOXIDE DETECTOR

NOTES
1. ALL WINDOWS TO BE REPLACED AT EXISTING LOCATIONS. WINDOWS TO BE REPLACED IN SAME SIZE AND OPERATION.
2. ALL CEILINGS TO MAINTAIN 1 HOUR FIRE SEPARATION REQUIRED BETWEEN UNITS.



ME | STUDIO

ARCHITECTURE . DESIGN . DEVELOPMENT

6 ST PAULS PL
TROY, NY 12180
838.386.1563



COPYRIGHT 2025 GRACIELA MONROY ARCHITECT PLLC, MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

PROJECT

BUILDING ALTERATION

3340 6th AVENUE
TROY, NY 12180

ISSUED FOR

DATE: 05/20/25

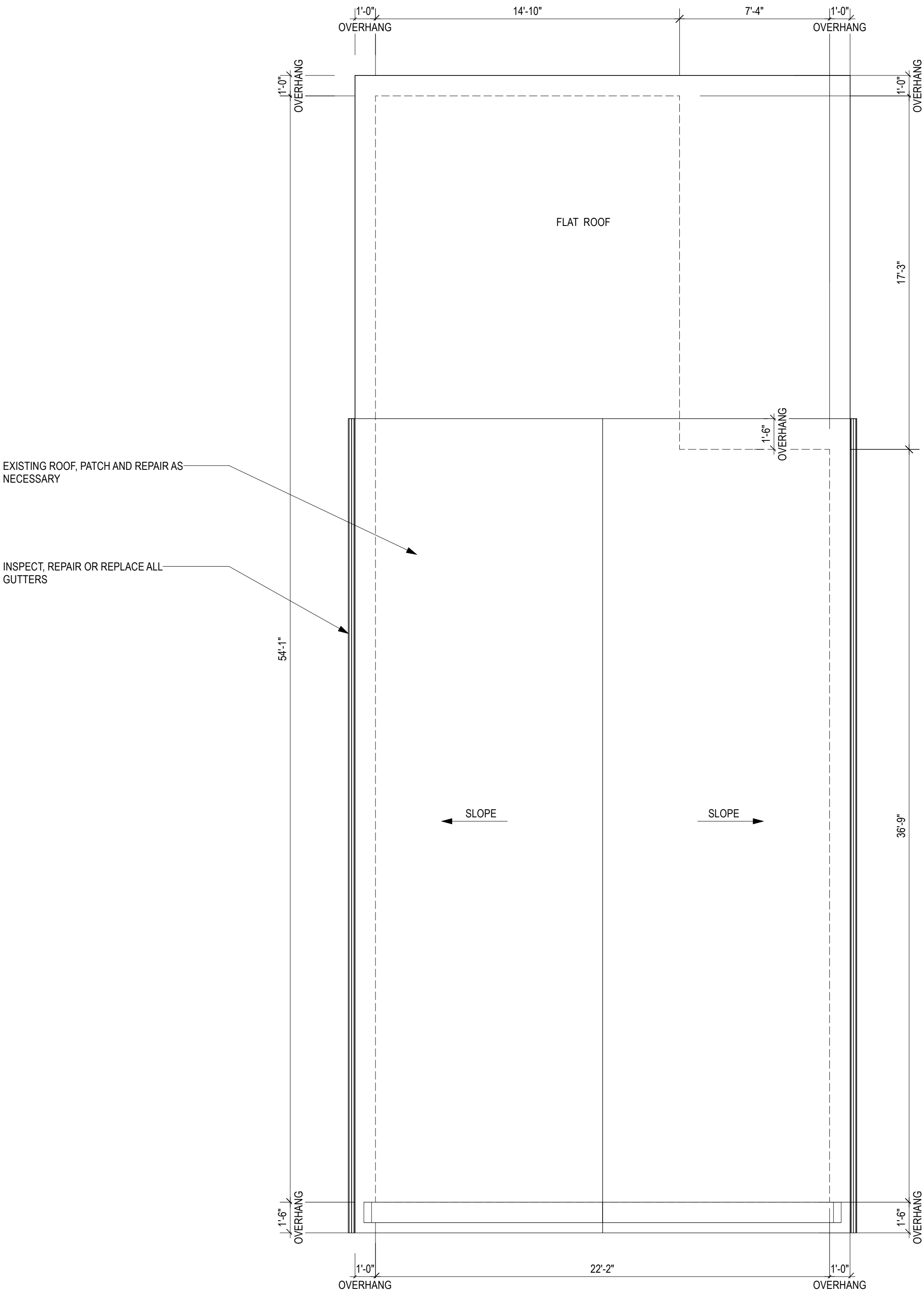
REVISION:

DRAWING TITLE

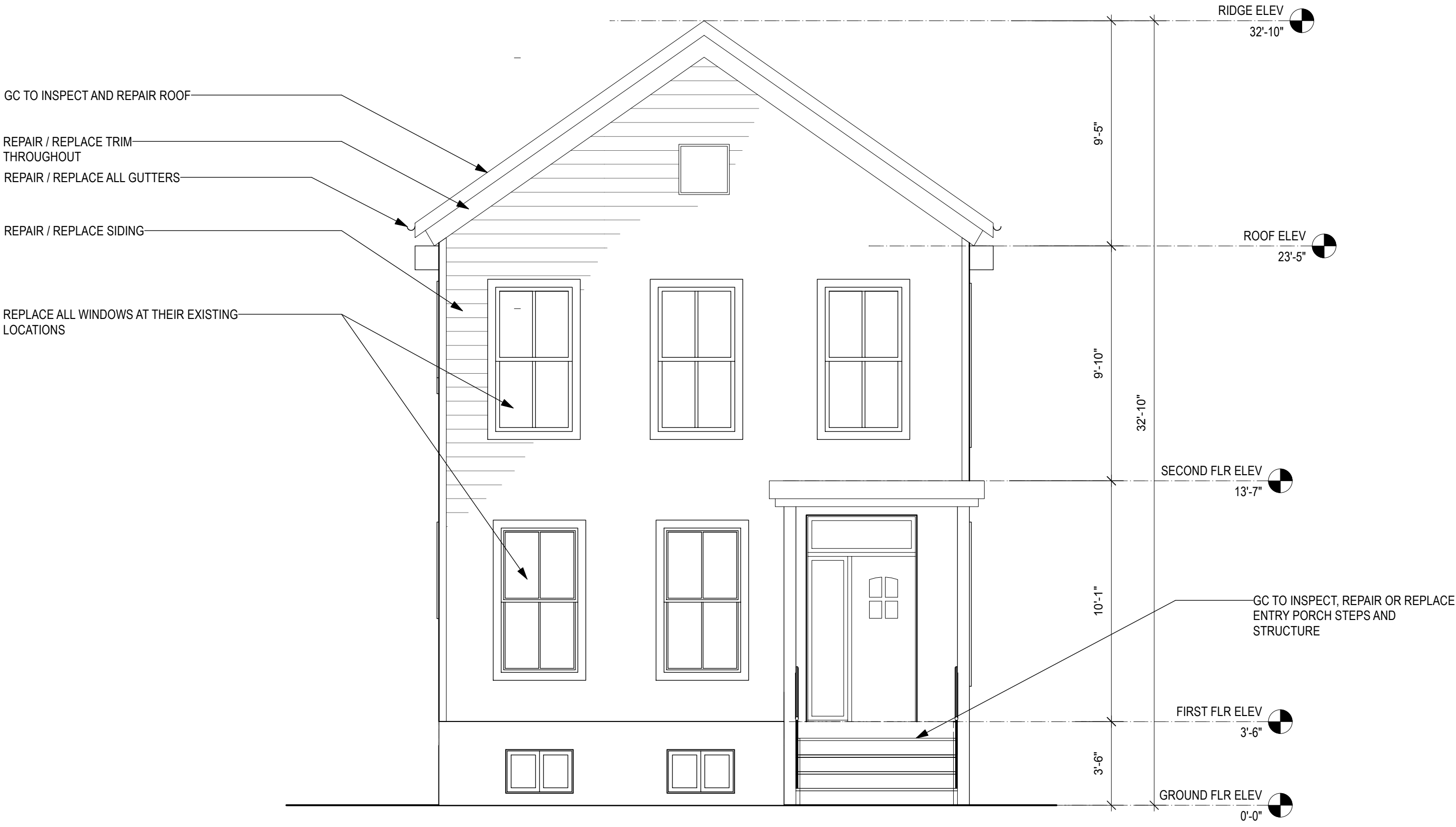
**ROOF PLAN -
PROPOSED**

DRAWING NUMBER

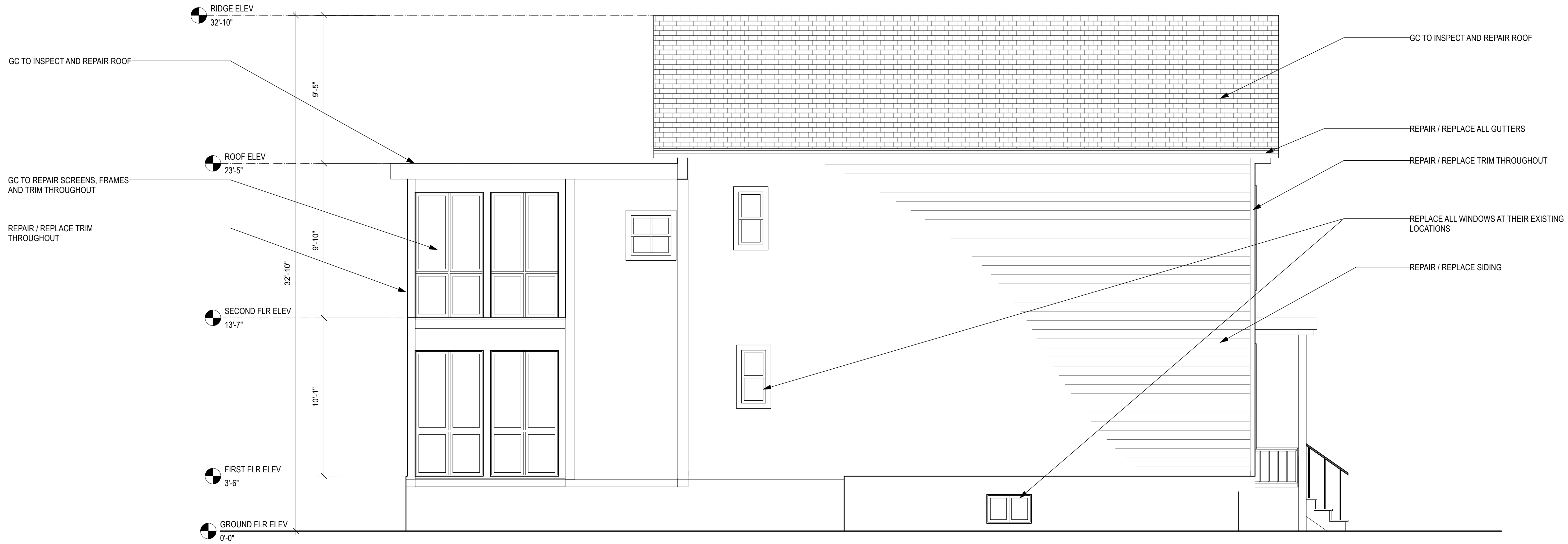
A-102



1 ROOF PLAN - PROPOSED
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 NORTH ELEVATION
Scale: 1/4" = 1'-0"



ME | STUDIO
ARCHITECTURE . DESIGN . DEVELOPMENT

6 ST PAULS PL
TROY, NY 12180
838.386.1563



COPYRIGHT 2025 GRACIELA MONROY ARCHITECT PLLC, MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

PROJECT

BUILDING ALTERATION
3340 6th AVENUE
TROY, NY 12180

ISSUED FOR

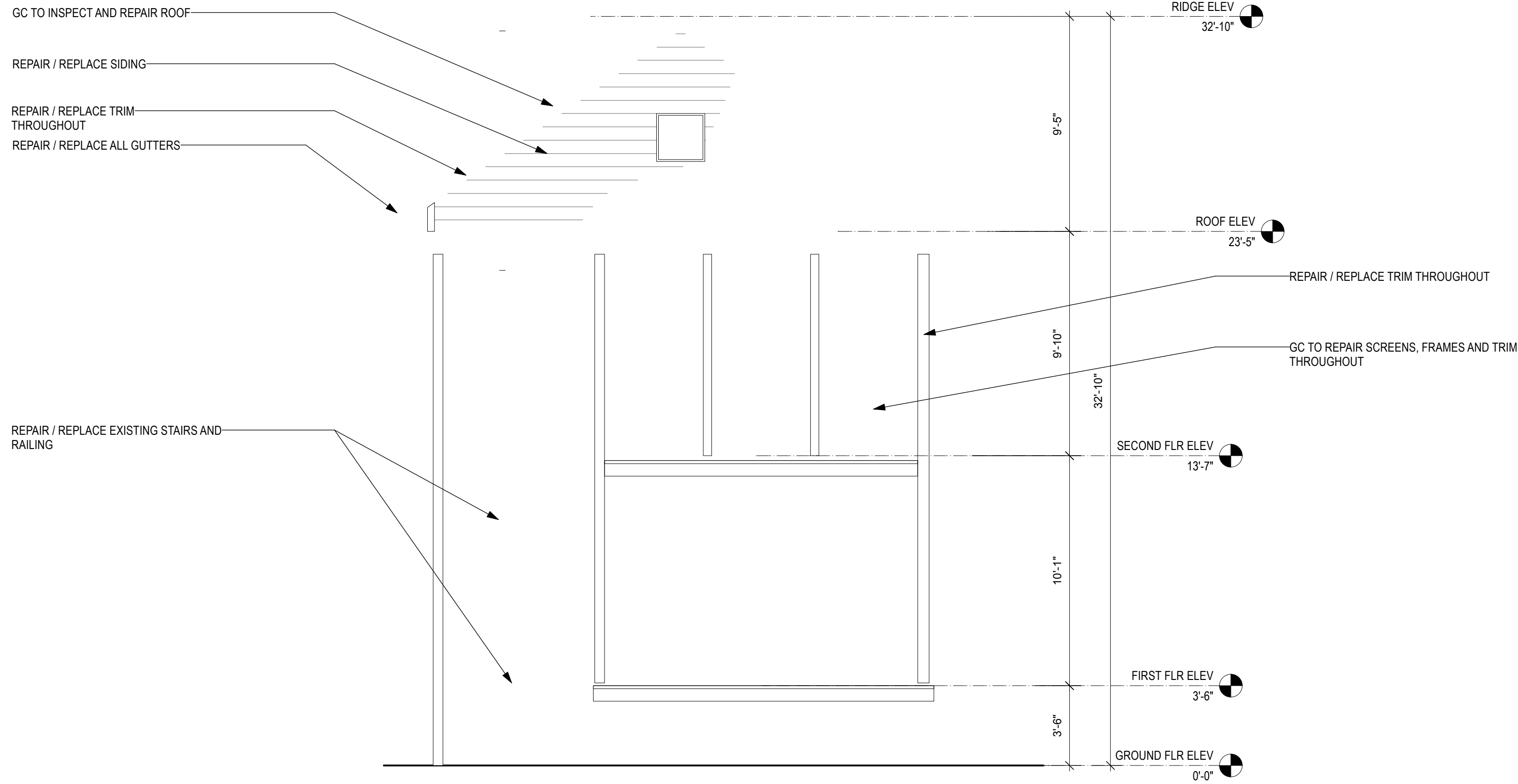
DATE: 05/20/25
REVISION:

DRAWING TITLE

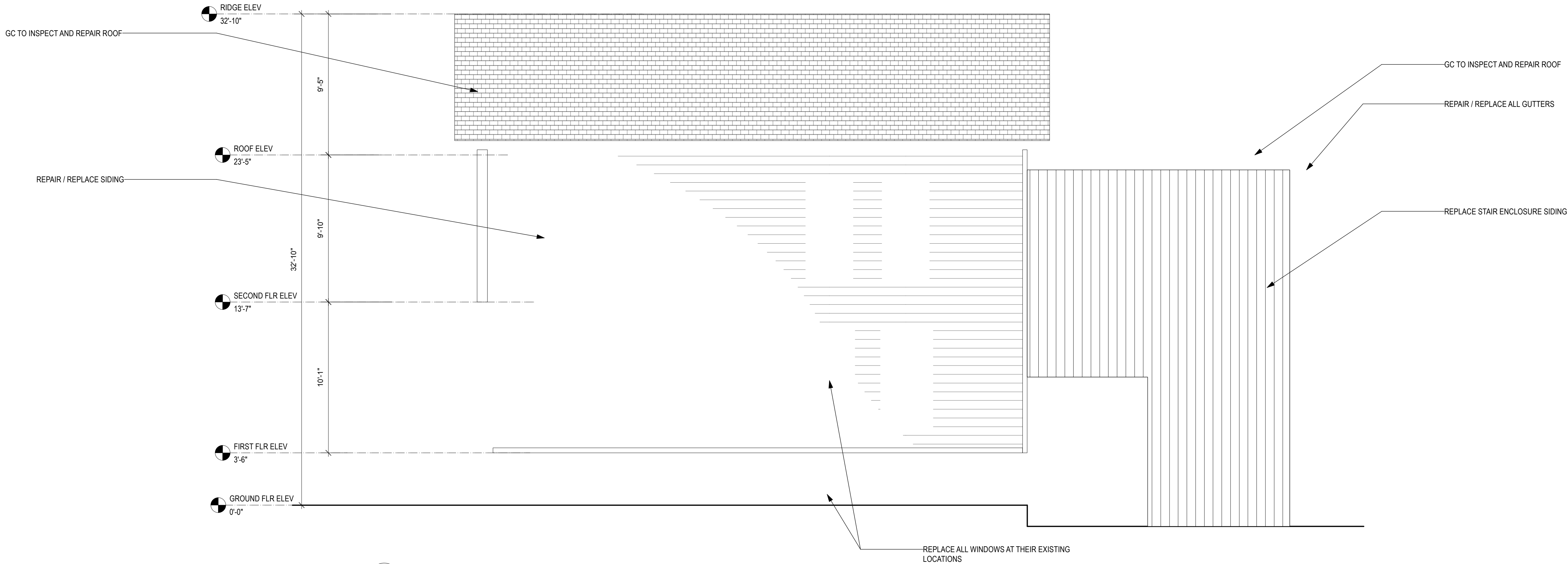
ELEVATIONS

DRAWING NUMBER

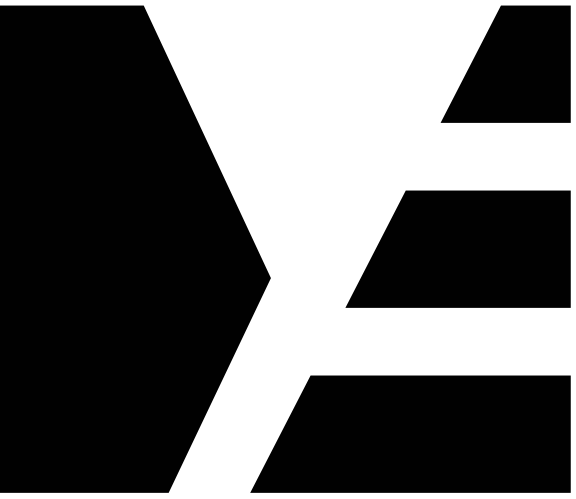
A-200



1 REAR ELEVATION
Scale: 1/4" = 1'-0"



2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



ME | STUDIO
ARCHITECTURE . DESIGN . DEVELOPMENT

6 ST PAULS PL
TROY, NY 12180
838.386.1563



COPYRIGHT 2025 GRACIELA MONROY ARCHITECT PLLC, MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

PROJECT

BUILDING ALTERATION
3340 6th AVENUE
TROY, NY 12180

ISSUED FOR

DATE: 05/20/25
REVISION:

DRAWING TITLE

ELEVATIONS

DRAWING NUMBER

A-201

Door Schedule

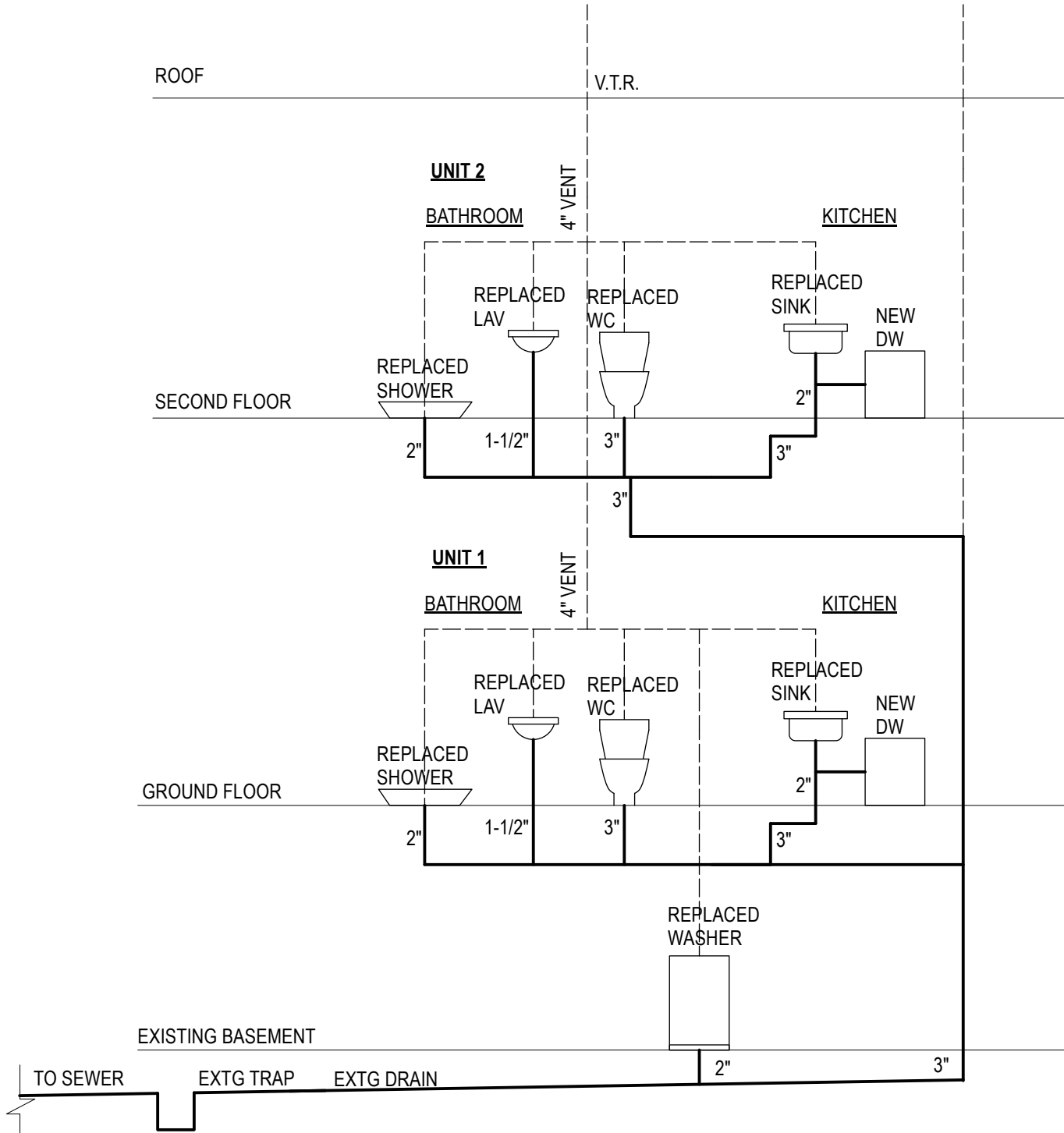
			Nominal Size						Door Style				Door Frame		Openings				
			Width	Height	Thickness														
Mark						Configuration	Top Shape	Slab Style	Side Lights	L Sidelt Wid	R Sidelt Wid	Glaz. Style	Jamb Thick	Jamb Depth	RO Width	RO Height	HW Set	Comments	
D-01			2'4"	6'3"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	4"	2'5 1/2"	6'3 3/4"	DHW-#		
D-02			2'6"	6'3"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	3"	2'7 1/2"	6'3 3/4"	DHW-#		
D-03			3'0"	6'3"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	4"	3'1 1/2"	6'3 3/4"	DHW-#		
D-04			2'8"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	8"	2'9 1/2"	6'9 3/4"	DHW-#		
D-05			2'6"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	5"	2'7 1/2"	6'9 3/4"	DHW-#		
D-06			2'6"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	5"	2'7 1/2"	6'9 3/4"	DHW-#		
D-07			2'6"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	7"	2'6"	6'9"	DHW-#		
D-08			2'6"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	5"	2'7 1/2"	6'9 3/4"	DHW-#		
D-09			2'8"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	7"	2'7 1/2"	6'9 3/4"	DHW-#		
D-10			2'6"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	3"	2'7 1/2"	6'9 3/4"	DHW-#		
D-11			2'5"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	4"	2'6 1/2"	6'9 3/4"	DHW-#		
D-12			2'4"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	4"	2'5 1/2"	6'9 3/4"	DHW-#		
D-13			2'6"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	6"	2'7 1/2"	6'9 3/4"	DHW-#		
D-14			2'4"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	6"	2'5 1/2"	6'9 3/4"	DHW-#		
D-15			2'4"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	6"	2'5 1/2"	6'9 3/4"	DHW-#		
D-16			2'4"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	5"	2'5 1/2"	6'9 3/4"	DHW-#		
D-17			2'5"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	6"	2'6 1/2"	6'9 3/4"	DHW-#		
D-18			2'4"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	5"	2'5 1/2"	6'9 3/4"	DHW-#		
D-19			2'6"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	8"	2'6"	6'9"	DHW-#		
D-20			2'4"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	6"	2'5 1/2"	6'9 3/4"	DHW-#		
D-21			2'6"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	4"	2'6"	6'9"	DHW-#		
D-22			2'4"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	5"	2'5 1/2"	6'9 3/4"	DHW-#		
ED-01			2'6"	6'3"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	1'5"	2'7 1/2"	6'3 3/4"	DHW-#		
ED-02			2'8"	6'11"		1 3/4" Swing Simple	N/A	Square	Custom	0"	1'8"	None	3/4"	8"	4'7 1/2"	8'7 3/4"	DHW-#	PROVIDE WEATHER STRIP AND THRESHOLD (SAFETY GLAZING REQUIRED)	
ED-03			2'5"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	8"	2'6 1/2"	6'9 3/4"	DHW-#		
ED-04			2'6"	6'9"		1 3/4" Swing Simple	N/A	Square		N/A	N/A	None	3/4"	8"	2'7 1/2"	6'9 3/4"	DHW-#		

PLUMBING FIXTURE SCHEDULE

LOCATION		TYPE	MANUFACTURER	MODEL NAME/NUMBER	FINISH	NOTES
Kitchen	P-1	Kitchen Sink	TBD	TBD		
	P-2	Kitchen Faucet	TBD	TBD		
Bathroom	P-3	Toilet	TBD	TBD		
	P-4	Bathroom Lavatory	TBD	TBD		
	P-5	Bathroom Faucet	TBD	TBD		
	P-6	Showerhead, Tub Spout, & Controls	TBD	TBD		
	P-7	Shower Pan & Drain	TBD	TBD		
	P-8	Bathtub	TBD	TBD		
	P-9	Bathtub spout	TBD	TBD		
	P-10	Exterior Spigot	TBD	TBD		
Note: Verify all plumbing fixtures w/Owner prior to purchase. GC to provide and install all plumbing fixtures						

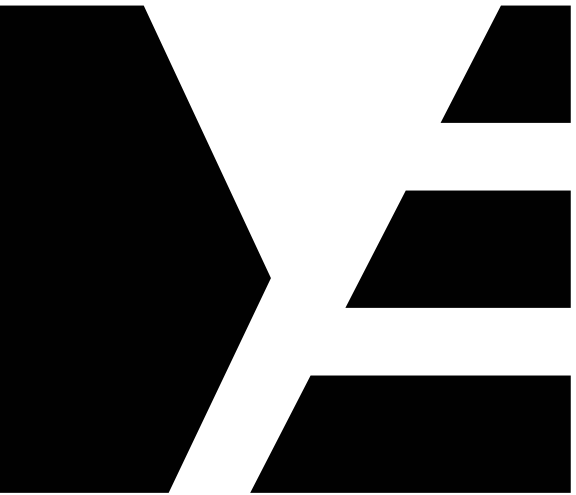
EQUIPMENT SCHEDULE

LOCATION		TYPE	MANUFACTURER	MODEL NAME/NUMBER	NOTES
Kitchen	EQ-1	Electric / Gas Range	TBD	TBD	
	EQ-2	DW	TBD	TBD	
	EQ-3	Refrigerator / Freezer	TBD	TBD	
	EQ-4	Microwave	TBD	TBD	
Basement	EQ-5	Washer	TBD	TBD	
	EQ-6	Dryer	TBD	TBD	
Note: Verify all equipment specifications prior to ordering.					



1

PLUMBING RISER DIAGRAM
Scale: 1/4" = 1'-0"



ME | STUDIO

ARCHITECTURE . DESIGN . DEVELOPMENT

6 ST PAULS PL
TROY, NY 12180
838.386.1563



COPYRIGHT 2025 GRACIELA MONROY ARCHITECT PLLC, MAY
NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

PROJECT

BUILDING ALTERATION

3340 6th AVENUE
TROY, NY 12180

ISSUED FOR

DATE: 05/20/25

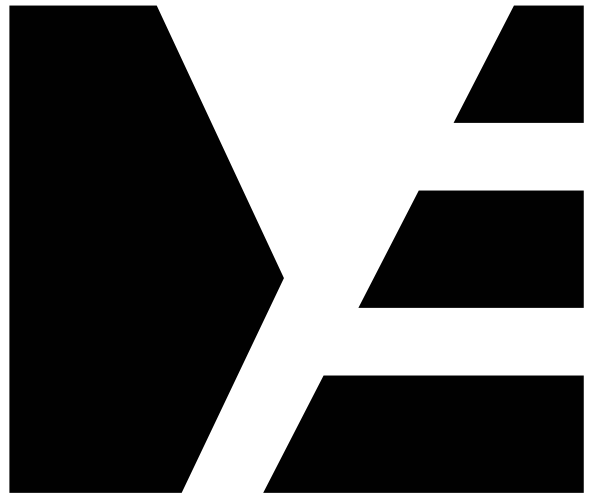
REVISION:

DRAWING TITLE

SCHEDULES

DRAWING NUMBER

A-600



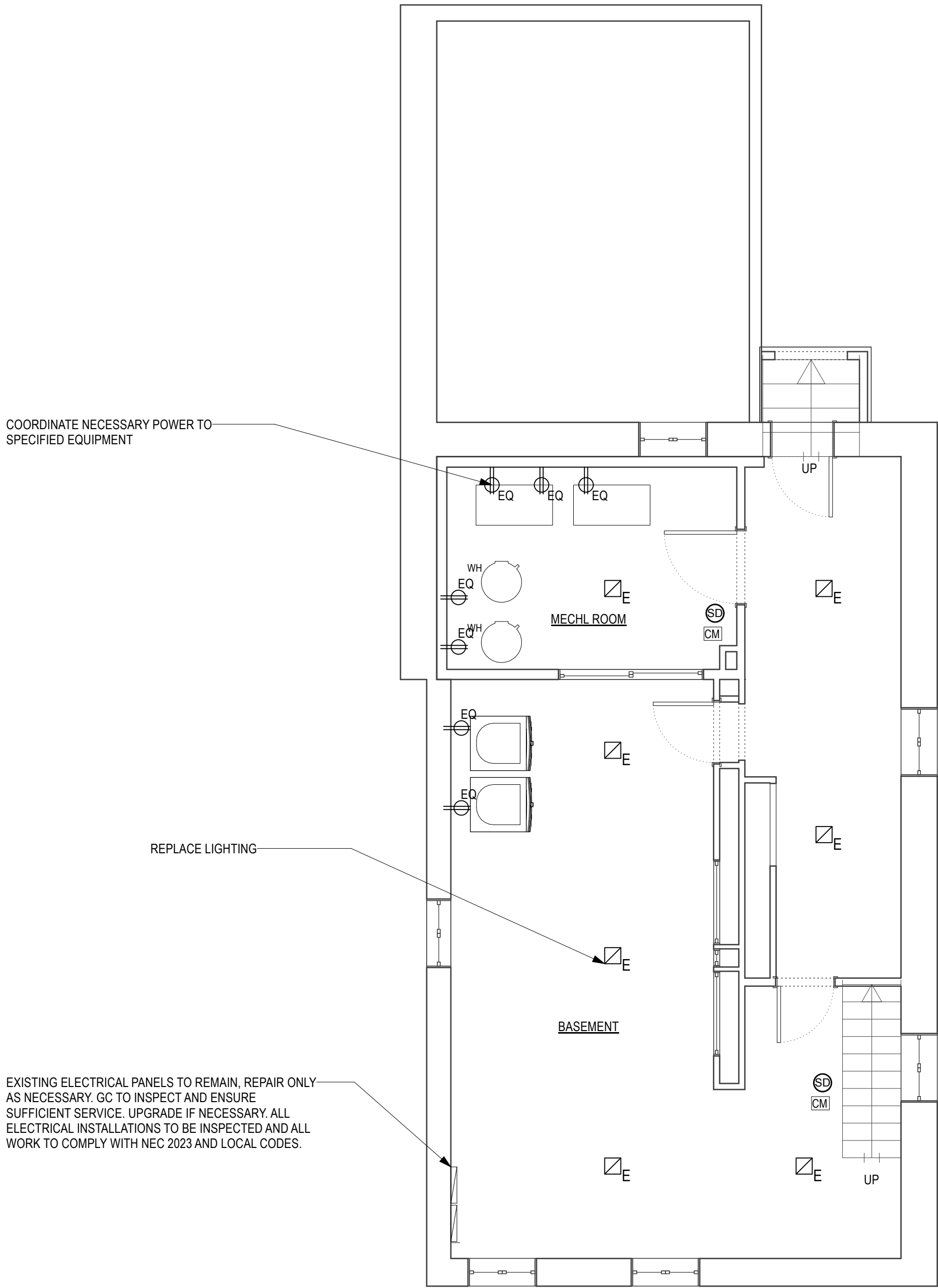
ME | STUDIO

ARCHITECTURE . DESIGN . DEVELOPMENT

6 ST PAULS PL
TROY, NY 12180
838.386.1563



COPYRIGHT 2025 GRACIELA MONROY ARCHITECT PLLC, MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION



1 BASEMENT FLOOR PLAN - PROPOSED LIGHTING AND ELECTRICAL
Scale: 1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE						
FIXTURE	SYMBOL	DESCRIPTION	MANUF.	MODEL NO.	MOUNTING	LAMPING
A	A	RECESSED LED DOWNLIGHT. A-2 DENOTES WET RATED.	TBD	TBD	RECESSED	2.5 W LED
B	B	DECORATIVE WALL SCONCE	TBD	TBD	WALL MOUNTED	2.5 W LED
C	C	CEILING MOUNTED DECORATIVE PENDANT	TBD	TBD	CEILING MOUNTED	20 W
D	D	CEILING MOUNTED DECORATIVE PENDANT	TBD	TBD	CEILING MOUNTED	20 W
E	E	CEILING MOUNTED LED UTILITY FIXTURE	TBD	TBD	CEILING MOUNTED	5 W LED
F	F	UNDERCABINET LED STRIP	TBD	TBD	CEILING MOUNTED	2 W LED
H	H	CEILING MOUNTED TRACK LIGHT	TBD	TBD	CEILING MOUNTED	5 W LED

ELECTRICAL KEY	
	DUPLEX OUTLET. USE WEATHERPROOF FOR EXTERIOR (EXT)
	DUPLEX GROUND FAULT INTERRUPTOR OUTLET
	EQUIPMENT POWER. REFER TO EQUIPMENT SPECS.
	ELECTRICAL PANEL (EXISTING SERVICE TO BE CONFIRMED)

- ELECTRICAL NOTES**
- Electrical service to the Building shall not be overloaded by proposed renovations.
 - AFCI protection shall be provided for all new general purpose receptacle branch circuits. All new general purpose receptacles shall be tamper resistant type as required.
 - All affected electrical components, wiring, fixtures, etc. within the building shall be examined by a licensed electrician prior to installation of finished surfaces to verify that all complies with applicable Codes and standards.
 - A licensed electrician shall perform all electrical repairs, modifications, etc.
 - GC to coordinate walk-thru with Owner to confirm all device locations prior to running wire to exact locations.

PROJECT

BUILDING ALTERATION
3340 6th AVENUE
TROY, NY 12180

ISSUED FOR

DATE: 05/20/25

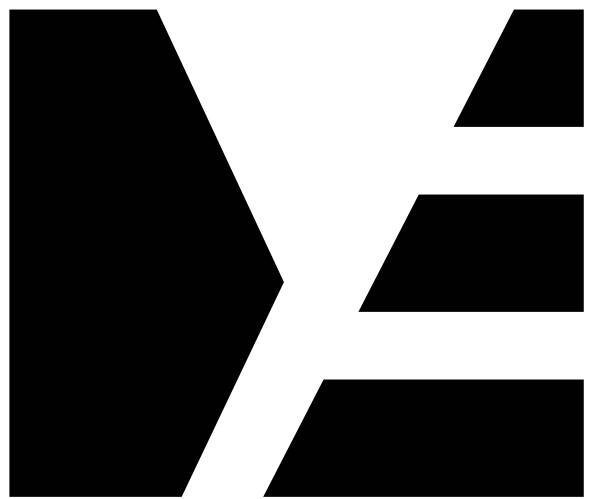
REVISION:

DRAWING TITLE

**BASEMENT FLOOR
PLAN- PROPOSED**

DRAWING NUMBER

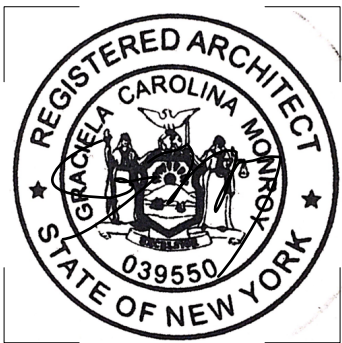
E-100



ME | STUDIO

ARCHITECTURE . DESIGN . DEVELOPMENT

6 ST PAULS PL
TROY, NY 12180
838.386.1563



COPYRIGHT 2025 GRACIELA MONROY ARCHITECT PLLC, MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

PROJECT

BUILDING ALTERATION

3340 6th AVENUE
TROY, NY 12180

ISSUED FOR

DATE: 05/20/25

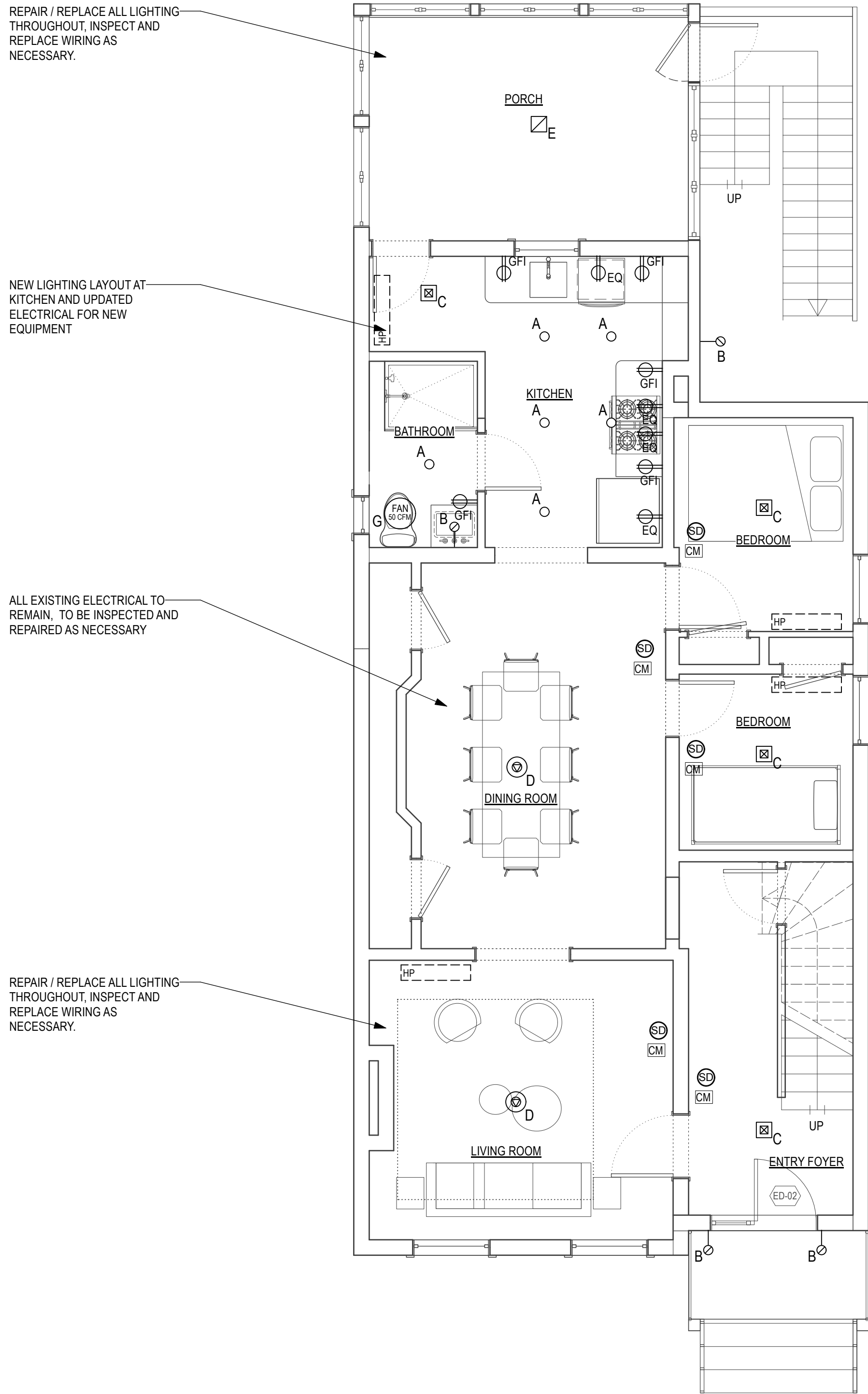
REVISION:

DRAWING TITLE

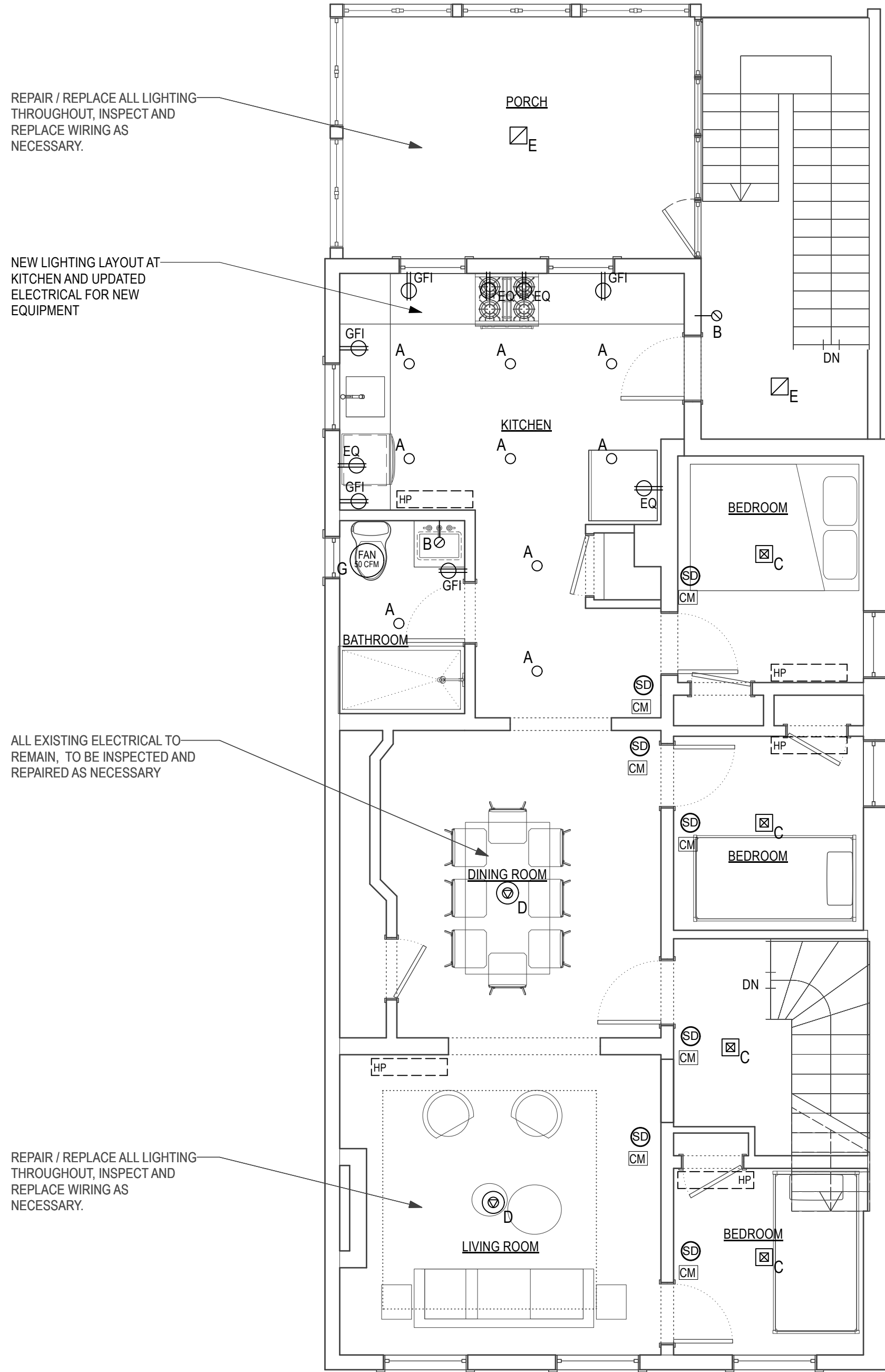
GROUND AND SECOND ELECTRICAL AND LIGHTING PLAN

DRAWING NUMBER

E-101



1 FIRST FLOOR ELECTRICAL AND LIGHTING PLAN
Scale: 1/4" = 1'-0"



2 SECOND FLOOR - ELECTRICAL AND LIGHTING PLAN
Scale: 1/4" = 1'-0"

ELECTRICAL KEY

- DUPLEX GROUND FAULT INTERRUPTOR OUTLET
- EQUIPMENT POWER. REFER TO EQUIPMENT SPECS.
- ELECTRICAL PANEL (EXISTING SERVICE TO BE CONFIRMED)
- NEW HEAT PUMP LOCATION (TBD W/ MECH CONTRACTOR)

LIGHT FIXTURE SCHEDULE						
FIXTURE	SYMBOL	DESCRIPTION	MANUF.	MODEL NO.	MOUNTING	LAMPING
A		RECESSED LED DOWNLIGHT. A-2 DENOTES WET RATED.	TBD	TBD	RECESSED	2.5 W LED
B		DECORATIVE WALL SCONCE	TBD	TBD	WALL MOUNTED	2.5 W LED
C		CEILING MOUNTED DECORATIVE PENDANT	TBD	TBD	CEILING MOUNTED	20 W
D		CEILING MOUNTED DECORATIVE PENDANT	TBD	TBD	CEILING MOUNTED	20 W
E		CEILING MOUNTED LED UTILITY FIXTURE	TBD	TBD	CEILING MOUNTED	5 W LED
F		UNDERCABINET LED STRIP	TBD	TBD	CEILING MOUNTED	2 W LED
H		CEILING MOUNTED TRACK LIGHT	TBD	TBD	CEILING MOUNTED	5 W LED

ELECTRICAL NOTES

- Electrical service to the Building shall not be overloaded by proposed renovations.
- AFCI protection shall be provided for all new general purpose receptacle branch circuits. All new general purpose receptacles shall be tamper resistant type as required.
- All affected electrical components, wiring, fixtures, etc. within the building shall be examined by a licensed electrician prior to installation of finished surfaces to verify that all complies with applicable Codes and standards.
- A licensed electrician shall perform all electrical repairs, modifications, etc.
- GC to coordinate walk-thru with Owner to confirm all device locations prior to running wire to exact locations.

MECHANICAL NOTES

- Ductless Mini-Split System is recommended for heating and cooling. GC to coordinate with Mechanical Contractor to verify best approach.
- Heat Pump locations shown to be confirmed with Mechanical Contractor.